



County of Santa Cruz

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

www.sccoplanning.com

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE OF PUBLIC REVIEW AND COMMENT PERIOD

Pursuant to the California Environmental Quality Act, the following project has been reviewed by the County Environmental Coordinator to determine if it has a potential to create significant impacts to the environment and, if so, how such impacts could be solved. A Negative Declaration is prepared in cases where the project is determined not to have any significant environmental impacts. Either a Mitigated Negative Declaration or Environmental Impact Report (EIR) is prepared for projects that may result in a significant impact to the environment.

Public review periods are provided for these Environmental Determinations according to the requirements of the County Environmental Review Guidelines. The environmental document is available for review at the County Planning Department located at 701 Ocean Street, in Santa Cruz. You may also view the environmental document on the web at www.sccoplanning.com under the Planning Department menu. If you have questions or comments about this Notice of Intent, please contact Matt Johnston of the Environmental Review staff at (831) 454-3201

The County of Santa Cruz does not discriminate on the basis of disability, and no person shall, by reason of a disability, be denied the benefits of its services, programs or activities. If you require special assistance in order to review this information, please contact Bernice Romero at (831) 454-3137 (TDD number (831) 454-2123 or (831) 763-8123) to make arrangements.

PROJECT: Heart of Soquel Master Site Plan

APP #: 111131

APN(S): Various

PROJECT DESCRIPTION: Proposal to obtain a Heart of Soquel Master Site Plan and to implement phase one improvements including associated lot line adjustments. The conceptual master site plan includes shared parking and circulation, open space, a linear creek trail, and other park amenities. Phase one implementation includes construction of a performance area, plaza, parking and circulation from Soquel and Porter Street, riparian restoration along the top of the Soquel Creek bank and buffer area, associated park landscaping, and special community events with beer and wine sales within 200 feet of residentially zoned property. The project requires a Master Site Plan Approval and a Development Permit, Lot Line Adjustments, Riparian Exception and Preliminary Grading Approval for implementation of Phase One and Two of the Master Site Plan.

PROJECT LOCATION: The project is located in the southwest quadrant (Soquel Drive and Porter Street) of Soquel Village and accessed via the right-of-way off Soquel Drive adjacent to the former post office and via Porter Street.

EXISTING ZONE DISTRICT: Various

APPLICANT: County of Santa Cruz, Department of Public Works

OWNER: County of Santa Cruz

PROJECT PLANNER: Sheila McDaniel, (831) 454-2255

EMAIL: Sheila.McDaniel@santacruzcounty.us

ACTION: Negative Declaration with Mitigations

REVIEW PERIOD: February 10, 2014 through March 11, 2014

This project will be considered at a public hearing before the Planning Commission. The time, date and location have not been set. When scheduling does occur, these items will be included in all public hearing notices for the project.



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MITIGATED NEGATIVE DECLARATION

Project: Heart of Soquel Master Site Plan

APN(S): Multiple

Project Description: Proposal to obtain a Heart of Soquel Master Site Plan and to implement phase one improvements including associated lot line adjustments. The conceptual master site plan includes shared parking and circulation, open space, a linear creek trail, and other park amenities. Phase one implementation includes construction of a performance area, plaza, parking and circulation from Soquel and Porter Street, riparian restoration along the top of the Soquel Creek bank and buffer area, associated park landscaping, and special community events with beer and wine sales within 200 feet of residentially zoned property. The project requires a Master Site Plan Approval and a Development Permit, Lot Line Adjustments, Riparian Exception and Preliminary Grading Approval for implementation of Phase One and Two of the Master Site Plan.

Project Location: The project is located in the southwest quadrant (Soquel Drive and Porter Street) of Soquel Village and accessed via the right-of-way off Soquel Drive adjacent to the former post office and via Porter Street.

Owner: County of Santa Cruz

Applicant: County of Santa Cruz, Department of Public Works

Staff Planner: Sheila McDaniel, (831) 454-2255

Email: Sheila.McDaniel@santacruzcounty.us

This project will be considered at a public hearing before the Planning Commission. The time, date and location have not been set. When scheduling does occur, these items will be included in all public hearing notices for the project.

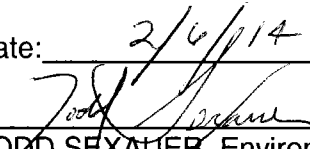
California Environmental Quality Act Mitigated Negative Declaration Findings:

Find, that this Mitigated Negative Declaration reflects the decision-making body's independent judgment and analysis, and; that the decision-making body has reviewed and considered the information contained in this Mitigated Negative Declaration and the comments received during the public review period; and, that revisions in the project plans or proposals made by or agreed to by the project applicant would avoid the effects or mitigate the effects to a point where clearly no significant effects would occur; and, on the basis of the whole record before the decision-making body (including this Mitigated Negative Declaration) that there is no substantial evidence that the project as revised will have a significant effect on the environment. The expected environmental impacts of the project are documented in the attached Initial Study on file with the County of Santa Cruz Clerk of the Board located at 701 Ocean Street, 5th Floor, Santa Cruz, California.

Review Period Ends: March 11, 2014

Note: This Document is considered Draft until it is Adopted by the Appropriate County of Santa Cruz Decision-Making Body

Date: 2/6/14


TODD SEXAUER, Environmental Coordinator
(831) 454-3511



County of Santa Cruz

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CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) ENVIRONMENTAL REVIEW INITIAL STUDY

Date: February 3, 2014

Application Number: 111131

Staff Planner: Sheila McDaniel

I. OVERVIEW AND ENVIRONMENTAL DETERMINATION

APPLICANT: County of Santa Cruz Public Works Department

OWNER: See Table 1

APN: See Table 1

SUPERVISORAL DISTRICT: First (Supervisor Leopold)

Table 1				
APN (s)	Owner	Existing Use/Acreage	Zoning	General Plan Designation
030-153-24	County of Santa Cruz	Vacant ("Heart of Soquel") (1.22 acres)	PF-GH (Public Facility- Geologic Hazard)	P – O-U (Public Facility – Urban Open Space)
030-153-10	County of Santa Cruz	Vacant ("Porter Street Property") (0.48 acres)	PR-GH (Parks, Recreation, and Open Space)	O-R – O-U (Existing Parks and Recreation – Urban Open Space)
030-153-07	BF LLC	Commercial (Soquel Village Antiques) (0.5 acres)	C-2- GH (Community Commercial- Geological Hazard)	C-C (Community Commercial)
030-153-31	BF LLC	Parking (Soquel Village Antiques lower parking) (5,500 square feet)	C-2- GH (Community Commercial-Geologic Hazard)	C-C (Community Commercial)
030-153-30	BF LLC	R/W (Soquel Village Antiques ramp access) (646 square feet)	C-2- GH (Community Commercial-Geologic Hazard)	C-C (Community Commercial)
030-153-28	Mello John L Jr & Penny F H/W JT	Commercial (JJ's Saloon, Hairy Chair, Sunrise Café) (6,735 square feet)	C-2-GH (Community Commercial-Geologic Hazard)	C-C (Community Commercial)
030-153-05	Lissner Properties Inc	Commercial (Ming's Chinese Restaurant, El Chipotle Restaurant) (6,200 square feet)	C-2-GH (Community Commercial-Geologic Hazard)	CC (Community Commercial)
030-153-03	Schulz Karl C Trustee Etal	Commercial Formerly Post Office, now Tara Redwoods School) (5,473 square feet)	PF-GH (Public Facility- Geologic Hazard)	P (Public Facility)

Table 1				
APN (s)	Owner	Existing Use/Acreage	Zoning	General Plan Designation
030-153-25	Morgan Kenneth Trustee Etal	R/W/Parking (Access for former Post Office) (4,901 square feet)	PF-GH (Public Facility-Geologic Hazard)	P (Public Facility)
030-153-09	Cavin Thomas M/M SS Etal	Commercial (Law Offices) (24,537 square feet)	C-2- GH (Community Commercial-Geologic Hazard)	C-C- O-U (Community Commercial- Urban Open Space)
030-153-99	County of Santa Cruz	R/W (right-of-way - County of Santa Cruz) (2,347 square feet)	PF-GH (Public Facility-Geologic Hazard)	P (Public Facility)
030-153-98	County of Santa Cruz	R/W/Parking (right-of-way) (3,278 square feet)	PF-GH (Public Facility-Geologic Hazard)	P (Public Facility)
030-153-08	Izant Ellen Etal	Commercial (DiMaggio's Cleaners, Toy Box Hair Salon and Laundromat) (0.5 acres)	C-2- GH (Community Commercial-Geologic Hazard)	C-C (Community Commercial)

PROJECT LOCATION:

Project is located in the southwest quadrant (Soquel Drive and Porter Street) of Soquel Village and accessed via the right-of-way off Soquel Drive adjacent to the former post office and via Porter Street.

SUMMARY PROJECT DESCRIPTION:

Proposal to obtain a Heart of Soquel Master Site Plan and to implement phase one improvements including associated lot line adjustments. The conceptual master site plan includes shared parking and circulation, open space, a linear creek trail, and other park amenities. Phase one implementation includes construction of a performance area, plaza, parking and circulation from Soquel and Porter Street, riparian restoration along the top of the Soquel Creek bank and buffer area, associated park landscaping, and special community events with beer and wine sales within 200 feet of residentially zoned property. The project requires a Master Site Plan Approval and a Development Permit, Lot Line Adjustments, Riparian Exception and Preliminary Grading Approval for implementation of Phase One and Two of the Master Site Plan.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: All of the following potential environmental impacts are evaluated in this Initial Study. Categories that are marked have been analyzed in greater detail based on project specific information.

- | | |
|--|--|
| <input type="checkbox"/> Geology/Soils | <input checked="" type="checkbox"/> Noise |
| <input checked="" type="checkbox"/> Hydrology/Water Supply/Water Quality | <input type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Recreation |
| <input checked="" type="checkbox"/> Visual Resources & Aesthetics | <input type="checkbox"/> Utilities & Service Systems |

- | | |
|--|---|
| <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Land Use and Planning |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Population and Housing |
| <input checked="" type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Mandatory Findings of Significance |

DISCRETIONARY APPROVAL(S) BEING CONSIDERED:

- | | |
|--|--|
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Coastal Development Permit |
| <input type="checkbox"/> Land Division | <input checked="" type="checkbox"/> Preliminary Grading Permit |
| <input type="checkbox"/> Rezoning | <input checked="" type="checkbox"/> Riparian Exception |
| <input checked="" type="checkbox"/> Development Permit | <input checked="" type="checkbox"/> Lot Line Adjustments |
- Other: Master Site Plan Approval

NON-LOCAL APPROVALS

Other agencies that must issue permits or authorizations:

Monterey Bay Unified Air Pollution Control District Permit to Operate

Compliance with State Water Resources Control Board Construction General Permit provisions including Storm Water Pollution Prevention Plan

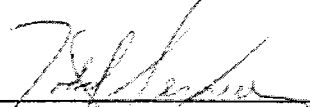
California Department of Fish and Wildlife – 1602 Streambed Alteration Agreement

DETERMINATION: (To be completed by the lead agency)

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.



Todd Sexauer
Environmental Coordinator

2/5/14

Date

II. BACKGROUND INFORMATION

EXISTING SITE CONDITIONS:

Parcel Size: See Table 1

Existing Land Uses: See Table 1

Vegetation: Riparian area along creek, paved approximately 75%

Slope in area affected by project: 0 - 30% 31 - 100%

Nearby Watercourse: Soquel Creek crosses property corner

Distance to Monterey Bay: approximately one mile

ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Water Supply Watershed: Soquel Creek

Fault Zone: No

Groundwater Recharge: No

Scenic Corridor: n/a

Timber or Mineral: No

Historic: No

Agricultural Resource: No

Archaeology: Yes, a portion along Soquel Creek, See attached report (Attachment 13)

Biologically Sensitive Habitat: Yes

Noise Constraint: No

Fire Hazard: No

Electric Power Lines: No

Floodplain: within Floodway

Solar Access: N/A

Erosion: No

Solar Orientation: Southern

Landslide: No

Hazardous Materials: No

Liquefaction: extreme

SERVICES

Fire Protection: Central Fire

Drainage District: Zone 5

School District: Soquel Elementary School District

Project Access: Porter Street and Soquel Drive

Sewage Disposal: County Sanitation

Water Supply: Soquel Creek Water

Zone District: See Table 1

Special Designation: See Table 1

General Plan: See Table 1

Urban Services Line: Inside

Outside

Coastal Zone: Inside

Outside

ENVIRONMENTAL SETTING AND SURROUNDING LAND USES:

The project is located in the southeast quadrant of Soquel Village, south of Soquel Drive and east of Porter Street (Assessor's Map and Location Map, Attachment 1). Table 1 provides the associated assessor's parcel numbers and existing uses for each property involved. The eastern corner of the site includes a portion of Soquel Creek. To the north and west of the site are commercial uses, including the Tara Redwoods School (formerly the post office) and the post office annex (sorting facility) operated by the US Postal Service, which are located north of the Heart of Soquel parcel on APN 030-153-

24. To the east of the site are single and multi-family residential uses located across Soquel Creek. To the south of the site are a commercial office and a dance studio. A single residence is also located above the Play it Again retails sports equipment store located on the north side of the property and above the Ugly Mug coffee shop located on the west side of Porter Street.

Currently the Heart of Soquel property provides 12 public parking spaces. The property is located adjacent to a County right-of-way, and additional parking is associated with the neighboring businesses and the post office annex. Vehicle traffic accesses this area via ingress alleys from Soquel Drive, and a one-way vehicle ramp across the Soquel Village Antiques parcel (formerly a Pacific Western Bank). The roadway is challenged by informal and poor roadway improvements, and two-way vehicle traffic is congested and difficult given the current configuration of parking, and access to Porter Street and Soquel Drive.

PROJECT BACKGROUND:

The Soquel Village Plan (SVP) (adopted in 1990) identified five major goals for Soquel Village: flood management, reestablishing a pedestrian oriented village environment, establishing design guidelines for village core uses, land use compatibility, and economic development. As part of the SVP, the portion of Soquel Village south of Soquel Drive and east of Porter Street (the “southeast quadrant”) was identified for flood risk reduction, the development of a linear river park, pedestrian oriented improvements, and public parking.

The former RDA purchased two parcels, APN 030-153-24 (former Heart of Soquel Mobile Home Park now known as the Heart of Soquel property) and 030-153-10 (Porter Street property) in 1993 & 2007 respectively, in the southeast quadrant of Soquel Village, with the intent of future implementation of the SVP. These parcels are shown on the assessor’s parcel map and site map (Attachment 1 and 2). The two parcels total 1.7 acres within this quadrant and provide over 300 feet of Creek frontage.

The over-arching goal of the Heart of Soquel Conceptual Master Plan is to implement the goals outlined in the Soquel Village Plan through the development of a Plan that improves flood management within the Soquel Creek floodway, develops strong pedestrian pathways, enhances the habitat and amenity value of the creek, supports businesses to orient towards the Creek, and provides organized vehicle parking.

The Conceptual Master Plan is focused on a partnership development process with the neighboring “partner properties” and the two properties that are owned by the County of Santa Cruz (the “Heart of Soquel” and the “Porter Street Property”). The use of the primary parcel (the Heart of Soquel) is for improved public parking and park uses, including, a plaza space for outdoor special community events, benches, casual small tables for activities (checkers or chess) and dining, a drivable surface for security and

maintenance (only as necessary), landscape and shade trees, an open space, and a pedestrian trail network that parallels Soquel Creek and winds through the park. The Porter Street property is proposed to have a small trail head and access plaza with interpretive signage, benches and the trail that will ultimately connect to the Heart of Soquel through a partner property easement. The existing County owned right-of-way between the El Chipotle business and the Tara Redwoods School (formerly the Post Office) will be improved to provide landscape trees, a pedestrian promenade, and visibility and access from Soquel Drive into the park.

SITE PERMIT HISTORY

The applicant was issued a riparian exception for removal of 37 dead elm trees along the top of the Soquel Creek bank under permit 08-0464 and time extension permit 111000. This permit was conditioned to require a restoration plan providing continuous canopy coverage along the top of the bank because the elms, as quoted by the biotic report dated October 4, 2011, "provided bank stabilization during high flows, stream shading and detrital input for anadromous fish and aquatic organisms and nesting cover for breeding birds and upper canopy stratification to the vegetation structure." An acceptable restoration plan has not been provided or implemented to date, but the applicant has requested, in correspondence dated June 12, 2013 (Attachment 16), that due to timing of project funding the project restoration plans meeting plan requirements be deferred to the conditions of approval of the Heart of Soquel Permit. As a result of stated financial circumstances beyond the control of the former Redevelopment Agency, submittal of revised restoration plans are required to be reviewed and approved by Environmental Planning staff prior to building permit issuance for the park project. Completion of the re-vegetation work is required as part of the Heart of Soquel project construction. This will ensure completion of previously required restoration of the corridor and ensure that these impacts are adequately mitigated.

DETAILED MASTER SITE PLAN DESCRIPTION

The Conceptual Master Plan includes both County owned properties and surrounding properties identified in Table 1.

On the former RDA owned properties, the proposal is to develop a small park and public parking. Park improvements include demolition of existing vacant apartment buildings & impervious surfaces, and installation of a community plaza, a small lawn area and other small miscellaneous park improvements such as picnic tables, benches, interpretive signage, a drinking fountain, ornamental landscaping, a pedestrian trail paralleling Soquel Creek, habitat restoration within the riparian buffer and associated parking for the park uses and additional public parking on the County owned properties.

Proposed improvements to adjacent properties include relocating the access behind the existing buildings to allow for outdoor dining areas, consolidated trash and recycling and

a loading and unloading area, improved vehicle and pedestrian access and circulation, lighting, and way-finding signage. The project is designed to be completed in phases as funding is available. Development permits for project phases will be obtained before construction commences for each phase.

The Conceptual Master Plan envisions the “partner property” owners within the quadrant participating in the development with the County of Santa Cruz. Therefore, the final plan also shows revised vehicle and pedestrian circulation and parking on parcels adjacent to the Heart of Soquel, a pedestrian access from Porter Street and an additional pedestrian access from Soquel Drive, outdoor dining areas and landscaping behind the restaurants, a relocated two-way ramp that replaces the one-way ramp that currently exists, and a consolidated waste structure for the businesses.

Phase One Development- Park, Parking and Circulation

The Phase One Development Permit improvements (Sheet 3 and 4 of Attachment 2) are to be completed entirely on the County owned properties, with exception of a small area on the Soquel Antiques property and the Hairy Chair property, which are required for vehicle and pedestrian circulation. These Improvements will be coordinated between the County and these property owners. Development includes:

Heart of Soquel Area

The Heart of Soquel (APN 030-151-24) is proposed to contain most of the park improvements (Sheet 3, Attachment 2), including the following:

- Park plaza area
- Open Space
- Benches, small game tables
- Bocce Court
- Interpretive signage
- Art feature
- Pedestrian pathway along Soquel Creek
- Riparian corridor restoration (top of creek bank)
- Split rail fencing along proposed pedestrian trail within riparian corridor
- Drainage improvements (detention pond, drainage swales)
- Improved and new parking spaces (37 spaces total)

Riparian corridor restoration involves re-vegetation of the Soquel Creek riparian corridor from the top of the creek bank to the edge of the proposed pedestrian trail on the Heart of Soquel property (Sheet 3, Attachment 2) and to Porter Street on the Porter Street Property (Sheet 3, Attachment 2) as noted below. Selected trees and shrubs included in the restoration plan (Sheet 9, Attachment 2) are as recommended by the Habitat Restoration and Enhancement Report by Biotic Resources Group, dated June 27, 2011

(Attachment 5). Erosion control plans are included in the project (Sheet 7, Attachment 2) to ensure that creek habitat and water quality are not compromised.

Soquel Antiques Area

This portion of the work involves removal of the existing one-way access ramp currently located on the Soquel Antiques property and construction of a two way access ramp to the realigned County of Santa Cruz property, coinciding with the alignment of the existing two way circulation easement located in front of the laundromat business fronting Porter Street. (Sheet 3, Attachment 2). No site improvements are proposed on the laundromat site. In addition, the existing vehicular access through the Soquel Antiques property would be removed and a new pedestrian access pathway would be provided from Porter Street. The specific improvements are as follows:

- Removal of one-way access ramp through Antiques property
- Two Way Ramp Construction
- New pedestrian access from Porter Street to Heart of Soquel Park
- Revised parking area to allow pedestrian path
- Redesigned circulation route
- New Pedestrian path from Soquel Drive to Heart of Soquel Park

Porter Street Property

- Habitat restoration adjacent to the proposed pathway

Habitat restoration plans (Sheet 9, Attachment 2) are consistent with the native trees and shrubs consistent with the Habitat Restoration and Enhancement Report by Biotic Resources Group, dated June 27, 2011.

Phase Two Development – Porter Street Trail Head Entry

Phase Two improvements (Sheet 3, Attachment 2) of the master site plan are to be completed on county owned property on the Porter Street property and a portion of private property located to the north of the Porter Street property. Phase Two would authorize construction of this work on the County owned property when the funds are available for construction. Specific and detailed construction plans would be required for review prior to construction. Improvements on the privately held parcel for trail access would require an amendment to the Commercial Development Permit and would be required prior to construction of improvements. Development generally includes:

- Benches
- Fencing
- Interpretive Signage
- Pedestrian multi-use pathway connecting to Heart of Soquel Park
- Lighting
- Purchase of/or easement over
Portion of adjacent private property

Phase Three Development-Soquel Alley Private Property Development

Phase three development of the master site plan (Sheet 3 and 4, Attachment 2) provides an opportunity for private property owners to complete site improvements on their properties. These improvements are not necessarily required for private property circulation or parking to function properly. This work includes the potential for re-orienting commercial businesses to the rear toward the proposed park and Soquel Creek; it provides the opportunity to provide outdoor dining areas and other circulation, vehicle, pedestrian, and landscaping improvements for integration and design consistency with the Heart of Soquel Master Site Plan. This work may be completed by each property owner separately, or as a whole, or coordinated in conjunction with the Public Works Department as desired. A development permit for this work is required prior to construction. These improvements include:

Soquel Antiques Property

The permit application for the Soquel Antiques use permit amendment has been submitted to the Department and would be acted on following approval of the Master Site Plan by your Planning Commission to ensure any relevant issues are addressed as a result of the public review process for the Master Plan. This work includes:

- Redesign parking lot entry, circulation and parking
- Demolish former bank drive thru
- Landscaping and lighting

Businesses along Soquel Drive (Hairy Chair, JJ's Tavern, Sunrise Café, Ming's Chinese, El Chipotle)

- Pedestrian Improvements
- Vehicle parking Improvements consistent with the master site plan
- Business loading and unloading improvements, utility consolidation
- Restaurant outdoor dining patios, as appropriate to available parking
- Landscaping and lighting
- Re-orientation of/or addition of entrances toward Soquel Creek, as desired

County Property/Post Office building/Tara Redwoods Building (former Post Office)

- Pedestrian access and signage
- Vehicle signage and visibility improvements
- Accessibility improvements
- Landscaping and lighting

SPECIAL EVENTS

As part of the Heart of Soquel Conceptual Master Plan design process, the potential use of the Public Works owned parcels and surrounding parcels for special community events were considered and embraced by the community and business owners during the RDA community meeting process. Thus, the development permit proposes to include, but not be limited to, art and wine festivals, food fairs, antique fairs, non-amplified music concerts, non-amplified community performances, or farmer markets. Each special event is proposed to require a special event permit from the Parks, Open Space and Cultural Services Department (Parks Department) consistent with the current practice of renting public parks subject to event permits consistent with the use permit of the facility. The Parks Department would be responsible for compliance with the conditions of this development permit, including the permitted hours of operation, occupancy, Environmental Health requirements (porta-potties), and noise limitations (e.g., non-amplified music and other performances).

Weekday Summer Evening Events

The applicant proposes to provide smaller weekday evening special events during the summer when school is out after peak traffic hours, typically between 7 p.m. and 10 p.m. These events would be limited to between 50 to 200 attendees and subject to the maximum number of attendees, hours of operation, and parking requirements and parking availability, as recommended by the traffic analysis (Attachment 11).

Weekend Events

Weekend daytime events are proposed to accommodate a maximum of 50-500 attendees during the weekend day given the limited size of the Heart of Soquel park property. The number of attendees is proposed to vary depending upon the event and would be limited by traffic report recommendations with regard to the number of attendees, time of use, and parking requirements and parking availability. Each special event is proposed to require a special event permit from the Parks, Open Space and Cultural Services Department (Parks Department), consistent with the current practice of renting public parks subject to event permits consistent with the use permit of the facility.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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III. ENVIRONMENTAL REVIEW CHECKLIST

A. GEOLOGY AND SOILS

Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| 1. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving: | | | | |
| A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| B. Strong seismic ground shaking? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| C. Seismic-related ground failure, including liquefaction? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| D. Landslides? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

All of Santa Cruz County is subject to some hazard from earthquakes. However, the project site is not located within or adjacent to a County or state mapped fault zone, therefore the potential for ground surface rupture is low. The project site is likely to be subject to strong seismic shaking during the life of the improvements. The improvements would be designed in accordance with the Uniform Building Code, which should reduce the hazards of seismic shaking and liquefaction to a less than significant level. There is no indication that land-sliding is a significant hazard at this site.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Discussion: Following a review of mapped information and a field visit to the site, the development site is subject to a significant potential for damage caused by liquefaction, however no buildings are proposed with this park plan. Therefore, impacts resulting from liquefaction are less than significant.

3. Develop land with a slope exceeding 30%?

Discussion: There are no slopes that exceed 30% on the property.

4. Result in substantial soil erosion or the loss of topsoil?

Discussion: Some potential for erosion exists during the construction phase of the project, however, this potential is minimal because the project includes an erosion control plan and a restoration plan for the riparian corridor and buffer area, and includes standard erosion controls that are a required condition of the project. This includes provisions for disturbed areas to be planted with ground cover and measures to minimize surface erosion and re-vegetation with native trees and shrubs as recommended by the Habitat Restoration and Enhancement Report by Biotic Resources Group, dated June 27, 2011 (Attachment 5). Prior to construction, the project is conditioned to require a grading permit limited to April 15 to October 15 with a requirement that erosion controls be in place at all times during construction.

5. Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?

Discussion: There is no indication that the development site is subject to substantial risk caused by expansive soils.

6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems where sewers are not available?

Discussion: No septic systems are proposed. No permanent toilet facilities are proposed. Special events will require porta-potties that will be transported to and from the property. These units will have no effect on the property.

7. Result in coastal cliff erosion?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Discussion: The proposed project is not located in the vicinity of a coastal cliff or bluff; and therefore, would not contribute to coastal cliff erosion.

B. HYDROLOGY, WATER SUPPLY, AND WATER QUALITY

Would the project:

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|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Place development within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: This project will take place within the floodway of Soquel Creek. Effects of the project have been analyzed and summarized in a memo from John Presleigh, Director of Public Works, dated July 15, 2011 (Attachment 10). The project is not anticipated to cause a rise in the Base Flood Elevation of Soquel Creek, nor adversely affect flow conditions. See item B.2.

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|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. | Place within a 100-year flood hazard area structures which would impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: This project will take place within the floodway of Soquel Creek. The project includes a grading report, prepared by Casey Carlson, Department of Public Works, dated 6/30/2011, that concludes that no net fill will result from project improvements. Furthermore, effects of the project have been analyzed and summarized in a memo from John Presleigh, Director of Public Works, dated July 15, 2011 (Attachment 10). The property owner previously removed existing structures located on the property. This demolition work reduced the potential impacts to floor hazard. The proposed project work is not anticipated to cause a rise in the Base Flood Elevation of Soquel Creek, nor adversely affect flow conditions.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. | Be inundated by a seiche, tsunami, or mudflow? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Discussion: The Soquel Quadrant of the Tsunami map, dated January 2009 identifies that the Tsunami risk area extends to Highway 1. The subject property is located beyond Highway 1 and is therefore not in a tsunami area.

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| 4. | Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

Discussion: The property is located within the Soquel Creek Water District and has an existing water meter for historical water use associated with pre-existing uses (apartments and mobile home park) previously removed from the property by the RDA. The proposed project would not significantly alter water demand associated with the historical use on the site. The project is conditioned to comply with the water service fees required by the Soquel Creek Water District prior to construction.

The project is partially located in a mapped groundwater recharge area due to the location along Soquel Creek. The project is designed to maximize retention of run-off on-site that might contribute to groundwater recharge. The project is not expected to interfere with groundwater recharge or result in additional impervious improvements that would preclude groundwater recharge.

5. Substantially degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion).

Discussion: County Code section 16.22 (Erosion Control) requires the preparation and implementation of an erosion control plan for all projects involving ground disturbance. Potential siltation from the proposed project would be addressed by implementation of the required erosion control plan.

Park maintenance involves the use of antimicrobial soaps, fertilizers and Category 1 (caution) pesticides. These products are regulated by the United States Environmental Protection Agency and, based upon those standards, a less than significant impact is anticipated to affect the water supply. To reduce the amount of pesticides used, the County Parks Department uses integrated pest management (IPM). IPM is a pest management strategy that prevents or suppresses pest problems through a combination of techniques such as monitoring for pests, using non-chemical practices to make the habitat less inviting to the pest, improving sanitation, and employing mechanical and physical controls.

The parking and driveway associated with the project would incrementally contribute urban pollutants to the environment; however, the contribution would be minimal given the size of the driveway and parking area. A silt and grease trap, and a plan for maintenance, would be required by the Department of Public Works to reduce this impact to a less than significant level. Potential siltation from the proposed project will be addressed through implementation of erosion control measures included in the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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plans.

6. Degrade septic system functioning?

Discussion: The project is located within the Urban Service Line where properties are served by the Santa Cruz Sanitation District and existing properties in the vicinity do not contain septic systems. Thus no impacts to systems would occur as a result of this project.

7. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding, on- or off-site?

Discussion: A Stormwater Management Plan, prepared by Casey Carlson, Department of Public Works, dated June 30, 2011 (Attachment 4) evaluated site drainage. Although the proposed project is located near Soquel Creek, the project does not propose significant changes to any of the site drainage areas or increase the rate or amount of runoff to Soquel Creek, or alter drainage improvements within the creek. The park area drainage is most affected by the project, but general routing and collection of runoff remain the same, with exception that impervious surface area is reduced by the project by removal of existing hardscape on the site, and the project proposes the addition of rain gardens, vegetated swales, and a percolation pond. These improvements increase retention of site runoff and improve water quality treatment. Department of Public Works Drainage Section staff has reviewed and approved the proposed drainage plan with conditions to ensure that final design meets the County Standards. See attached Public Works Drainage comments (Attachment 16).

8. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems, or provide substantial additional sources of polluted runoff?

Discussion: Drainage Calculations in the Storm-water Management Plan, prepared by Casey Carlson, Department of Public Works, dated June 30, 2011 (Attachment 4) have been reviewed for potential drainage impacts and accepted by the Department of Public Works (DPW) Drainage Section staff (Attachment 16). The calculations show that run-off rates will remain the same with exception that flow rates in main park area (sub basin B) will be reduced as a result of the project. The runoff rate from the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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property would be controlled by the addition of rain gardens, percolation pond, and vegetated swales. DPW staff has determined that existing storm water facilities are adequate to handle the drainage associated with the project and will result in improved drainage on site. Refer to response B-5 for discussion of urban contaminants and/or other polluting runoff.

9. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?

Discussion: The project does not propose additional improvements or fill that would result in a rise in flood levels during a flood event or result in additional displacement of flood volumes and will not create a significant risk to people or structures. Existing structures have been removed from the property and the project includes additional removal of impervious surface, thereby improving existing floodway conditions. See memo from John Presleigh, Department of Public Works, and dated 7/15/2011 (Attachment 10).

10. Otherwise substantially degrade water quality?

Discussion: A silt and grease trap is proposed at the southern end of the parking lot area to treat runoff before it is directed into the proposed percolation pond. This will improve existing and proposed runoff on the site. A plan for maintenance will be required by the Public Works Department to minimize the effects of urban pollutants prior to construction as recommended by the Public Works Department (Attachment 16).

C. BIOLOGICAL RESOURCES

Would the project:

1. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game, or U.S. Fish and Wildlife Service?

Discussion: A biotic report, prepared by Biotic Resources Group, dated June 27, 2011 (Attachment 5) was completed for the proposed project. The report was reviewed and accepted by Matt Johnston of the Planning Department, dated October 9, 2011 (Attachment 6 and 7). The biotic report identifies that the site supports riparian

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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vegetation along Soquel Creek, though no special status plants were identified. The report review identifies that the foothill yellow legged frog and the western pond turtle were observed during previous biotic assessment of the Soquel Creek area adjacent to the subject property. In order to ensure that impacts to the foothill yellow legged frog and the western pond turtle are less than significant, the report review recommends mitigation measures be incorporated into the project. The project plans include drainage treatment including rain gardens and erosion control, which improve water quality and prevent siltation and minimize impacts to these species. Therefore, no mitigation measures are recommended.

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. Have a substantial adverse effect on any riparian habitat or sensitive natural community identified in local or regional plans, policies, regulations (e.g., wetland, native grassland, special forests, intertidal zone, etc.) or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project has been designed to comply with the required 50 foot riparian buffer and to comply with the limits to activities within the 50 foot buffer per the report review. This includes non-motorized recreation and pedestrian trails and park facilities. The project shall be conditioned to ensure that motorized activities are prohibited.

See also Item 1.

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| 3. Interfere substantially with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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Discussion: The proposed project does not involve any activities that would interfere with the movements or migrations of fish or wildlife, or impede use of a known wildlife nursery site.

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|--|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 4. Produce nighttime lighting that would substantially illuminate wildlife habitats? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The development area is adjacent to a riparian corridor, which could be adversely affected by a new or additional source of light that is not adequately

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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deflected or minimized. The proposed project includes light standards for regular park use and does not address lighting necessary for nighttime special events. Special event lighting may result in significant impacts to riparian habitat if this lighting is directed toward Soquel Creek area.

In order to ensure that significant impacts do not occur to the riparian corridor, mitigation measures shall require that special event lighting be placed between the riparian corridor and the park, with lights directed away from the riparian corridor. Proposed park pathway lighting shall consist of non-glare lighting with lighting shields directing lighting downward. With this mitigation measure impacts shall be less than will be less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 5. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project does not propose any work within federal jurisdiction that would require a section 404 permit and includes erosion control plans that will be located at the top of the bank during construction of the project. These plan improvement will protect water quality. Therefore, impacts will be less than significant.

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 6. Conflict with any local policies or ordinances protecting biological resources (such as the Sensitive Habitat Ordinance, Riparian and Wetland Protection Ordinance, and the Significant Tree Protection Ordinance)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project is located within the Soquel Creek Riparian Corridor and is subject to the riparian protection ordinance. A biotic report prepared by Biotic Resources Group, dated June 27, 2011 (Attachment 5) evaluated the plant communities present within the creek and on the site.

The report identifies that the property supports riparian woodland within Soquel Creek that is comprised of arroyo willows along the toe and lower slope of the creek. Non-native invasive Himalayan Berry Brambles are located along the creek embankment.

The eastern portion of the site and the area near Porter Street supports Cottonwood-willow riparian woodland. The main open portion of the site contains ruderal grassland comprised of non-native grasses and forbs and is noted to be of limited

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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value to species as habitat. The site is comprised of predominately non-native trees with the exception of one redwood tree.

The riparian corridor protection ordinance, 16.30, and General Plan riparian protection policy 5.2.7 support development of parks, open space, and pedestrian trails within the riparian corridor. The proposed project is consistent with allowed uses within the riparian corridor.

See also Item 1.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 7. | Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The proposed project will not conflict with the provisions of any adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan.

D. AGRICULTURE AND FOREST RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. | Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site does not contain any lands designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. In addition, the project does not contain Farmland of Local Importance. Therefore, no Prime Farmland, Unique Farmland, Farmland of Statewide or Farmland of Local Importance would be converted to a non-agricultural

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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use. No impact would occur from project implementation.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Conflict with existing zoning for agricultural use, or a Williamson Act contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is zoned Public Facility, Parks, Existing Recreation and Open Space, and Community Commercial, which are not considered to be an agricultural zone. Additionally, the project site's land is not under a Williamson Act Contract. Therefore, the project does not conflict with existing zoning for agricultural use, or a Williamson Act Contract. No impact is anticipated.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. | Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The site does not contain forest land or include land zoned for timber production.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 4. | Result in the loss of forest land or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No forest land occurs on the project site or in the immediate vicinity. No impact is anticipated.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 5. | Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is located within the Urban Service Line and located beyond any lands designated as Prime Farmland, Unique Farmland, Farmland of Statewide Importance or Farmland of Local Importance as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. Therefore, no Prime Farmland, Unique Farmland, Farmland of Statewide, or Farmland of Local Importance would be converted to a non-agricultural use. In addition, the project site contains no forest land, and no forest land in the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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vicinity of the proposed project site. Therefore, no impacts are anticipated.

E. MINERAL RESOURCES

Would the project:

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The site does not contain any known mineral resources that would be of value to the region and the residents of the state. Therefore, no impact is anticipated from project implementation.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project sites are zoned Public Facility, Community Commercial, and Existing Parks and Open Space, which are not considered to be an Extractive Use Zone (M-3) nor does it have a Land Use Designation with a Quarry Designation Overlay (Q) (County of Santa Cruz 1994). Therefore, no potentially significant loss of availability of a known mineral resource of locally important mineral resource recovery (extraction) site delineated on a local general plan, specific plan or other land use plan would occur as a result of this project.

F. VISUAL RESOURCES AND AESTHETICS

Would the project:

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Have an adverse effect on a scenic vista? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project would not directly impact any public scenic resources, as designated in the County's General Plan (1994), or obstruct any public views of these visual resources. County visual resource protection regulations only apply to public view-sheds.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is not located along a County designated scenic road, public view-shed area, scenic corridor, within a designated scenic resource area, or

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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within a state scenic highway. Therefore, no impact is anticipated.

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| 3. Substantially degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridgeline? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The property is located adjacent to Soquel Creek and is designed to include riparian restoration and a linear creek trail alongside the creek with vista points for viewing the creek area. This will improve the visual character of the property. Site improvements require approximately 810 cubic yards of cut and 80 cubic yards of fill to provide improved drainage and retention of runoff. While this volume appears large, the grading report, prepared by Casey Carlson, Department of Public Works, dated 6/30/2011 (Attachment 9) illustrates that grading is associated with the proposed drainage retention pond and drainage swales to improve site drainage and will not significantly alter natural topography of the site. Therefore, no significant impacts are anticipated.

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|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 4. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The project proposes bollard lights around the perimeter of the plaza, which would contribute an incremental amount of night lighting to the visual environment. In order to reduce potential lighting impacts to less than a significant level, lighting is required to be non-glare lighting fixtures that include shields that direct light toward the ground and away from creek area and surrounding residential properties. Impacts would be less than significant with the implementation of mitigation measures.

G. CULTURAL RESOURCES

Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines Section 15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There are no existing structure(s) on the property.

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|--|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 2. Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Guidelines Section 15064.5?

Discussion: A portion of the site along Soquel Creek is mapped for archaeological resources. An archaeological report (Attachment 13), prepared by Dr. Robert Cartier, dated March 15, 2013 and an archeological report review (Attachment 14), prepared by Matt Johnson, and dated April 23, 2013. No archeological resources have been identified on the subject property. However, a number of properties in the vicinity have been recorded as containing resources. Traces of prehistoric material were also identified during the archaeological reconnaissance at the Soquel Elementary School, located to the south of the subject property. Due to the sensitivity of this area, in order to mitigate for the potential impacts to archaeological resources, all grading activity shall be monitored by an archaeologist during project construction. In addition, pursuant to County Code Section 16.40.040, if at any time in the preparation for or process of excavating or otherwise disturbing the ground, any human remains of any age, or any artifact or other evidence of a Native American cultural site which reasonably appears to exceed 100 years of age are discovered, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040. Therefore, impacts are expected to be less than significant.

3. Disturb any human remains, including those interred outside of formal cemeteries?

Discussion: Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the sheriff-coroner and the Planning Director. If the coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established. Therefore, impacts are expected to be less than significant.

4. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

Discussion: No resources have been identified on the project site. See Item 2, above.

H. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

1. Create a significant hazard to the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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public or the environment as a result of the routine transport, use or disposal of hazardous materials?

Discussion: No hazardous materials are proposed to be transported, used, or disposed of as a routine part of the park project.

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| 2. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The project does not propose activities involving the potential release of hazardous materials into the environment with exception of minor amounts of fuels, lubricants, and solvents that may be used on site during the construction for use by construction equipment. In order to reduce potential impacts from the accidental release of hazardous materials into the riparian corridor, the following mitigation would be implemented: A spill prevention and response plan including all appropriate products will be available at the project site during the course of construction activities, and the construction staging area(s) will be a minimum of 50 feet from Soquel Creek.

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|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 3. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: Soquel Elementary School is located on the south side of the subject property. The project does not propose or involve hazardous materials or emissions as part of the project operation with exception of minor amounts of fuels, lubricants, and solvents that may be used on site during the construction for use by construction equipment. The mitigation measure in item H.2. above would ensure that impacts to the school are minimized.

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 4. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Discussion: The project site is not included on the 11/20/2012 list of hazardous sites

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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in Santa Cruz County compiled pursuant to the specified code.

5. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?
- | | | | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Discussion: The project is not located within the airport land use plan or within two miles of a public airport.

6. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?
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|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project is not located within the airport land use plan or within two miles of a public airport.

7. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- | | | | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project is not proposing to obstruct emergency response routes or emergency evacuation as it is not located within a public right-of-way.

8. Expose people to electro-magnetic fields associated with electrical transmission lines?
- | | | | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project does not propose electrical transmission lines.

9. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?
- | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project design incorporates all applicable fire safety code requirements and includes a proposed fire hydrant in the central portion of the property adjacent to the parking area as required by the local fire agency.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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I. TRANSPORTATION/TRAFFIC

Would the project:

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: A traffic report prepared by Fehr and Peers, dated August 27, 2013 and January 9, 2014 was prepared for the proposed project (Attachment 11). The project proposes daily park operation, summer weekday evening special events, and weekend daytime special events. Daily park operation is expected to generate a total of 8 pm peak commute hour trips, which is less than the minimum County threshold of 20 peak commute hour trips and therefore does not warrant a detailed traffic analysis. Thus, daily park operation is not expected to exceed roadway capacity or deteriorate roadway operations.

Weekday evening special events for 50 to 200 attendees is expected to generate 163 daily trips, including 58 peak event hour trips before an event (6-7 pm) and 65 non-peak event hour trips after the event (10-11 pm). No peak commute hour trips, between 4 pm to 6 pm, would occur for the weekday evening special events. Therefore, trip generation from weekday evening events would result in an incremental increase, but would not result in a significant impact to roadway operations.

Weekend daytime special events for 50 to 500 attendees is expected to generate 373 peak event daily vehicle trips and no peak commute hour trips, including 70 peak event trips between 12 pm and 1 pm.

Weekend daytime special events are not expected to exceed roadway capacity or deteriorate roadway operations. In particular, the expected level of traffic generated by the proposed project is anticipated to result in an increase in the average daily traffic for weekend daytime special events above existing average daily levels on Soquel Drive from 15,495 to 15,719 trips and on Porter Street from 11,112 to 11,261 trips. However, the proposed average daily traffic levels are below the daily capacity of both roadways, as established by the 1994 General Plan. Average Daily traffic on Soquel Drive would not exceed the daily capacity of 20,000 on Soquel Drive and 15,000 on Porter Street. Additionally, a level of service evaluation is conducted for peak commute hour trips only. And, since the project results in only 8 pm peak commute hour trips and a minimum of 20 trips are required for a level of service analysis, a level

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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of service analysis is not required. Therefore, the proposed increase in peak commute hour trips during weekend special events would not adversely impact existing roads and intersections in the surrounding area.

2. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

Discussion: The project does not include air traffic. Therefore, no impacts would occur.

3. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

Discussion: The project proposes to replace an existing one way traffic ramp and replace it with a two way ramp, which would improve traffic circulation and reduce hazards.

4. Result in inadequate emergency access?

Discussion: The Central Fire Protection Agency has included recommended conditions (Attachment 16) of approval requiring that roadways proposed by the project to be designated as fire lanes and painted with red curbs to ensure emergency access. This would improve the existing emergency access. Special events are subject to approval by the fire agency to ensure emergency access.

5. Cause an increase in parking demand which cannot be accommodated by existing parking facilities?

Discussion: A traffic report prepared by Fehr and Peers, dated August 27, 2013 and January 9, 2014 was prepared for the proposed project (Attachment 11). As noted, the project proposes daily park operation, weekday summer evening special events, and weekend daytime special events. The report includes evaluation of required parking for each.

The plans provide 35 new parking spaces on site and would satisfy the parking needs for daily operational use as determined by the Fehr and Peers traffic analysis.

Weekday summer evening special events for 50 to 200 people require 72 parking spaces, including the 5% efficiency factor to ensure sufficient parking without excessive vehicular circulation. Weekend daytime special events for 50-500 require up to a maximum of 65 parking spaces, including the 5% efficiency factor.

35 spaces can be provided by the proposed design and additional spaces are available

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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at six local off-site parking lots to accommodate parking demand. Three of these lots are public parking lots, including Daubenbiss Parking Lot, Lighthouse Public Parking Lot, and Porter Street Public Parking Lot. The remaining parking lots are all privately owned, including the Cross Point Church lot, Soquel Elementary lot, and the Congregational Church of Soquel lot. These off-site lots provide 296 spaces. These parking lots are not fully occupied, with a surplus of 178 space at 7 p.m. and 228 spaces at 8 p.m., all above the total demand of the additional 37 required parking spaces for weekday evening events. In addition, all 37 spaces can be provided on the public parking lots.

Similar parking capacity in the available off-site parking lots is available for weekend parking requirements. A surplus of 233 spaces is available at 12 pm. The existing off-site parking supply can accommodate the additional required 30 off-site parking spaces required for weekend events. During a weekend special event there would be a parking surplus of 203 off-site parking spaces. All required off-site spaces can be provided at the public parking lots. Therefore, parking impacts would be less than significant.

6. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

Discussion: The traffic report, prepared by Fehr and Peers, dated August 27, 2013 and January 9, 2014 recommends that the project provide between 5-10 bicycle parking spaces for consistency with the Santa Cruz County Bicycle Plan and provide additional bicycle parking in the proposed expansion area shown on the plans during special events. Thus, in order that the project not conflict with the adopted County bicycle plan, a mitigation measure for special event parking shall require two percent of the expected crowd in attendance, or 10 bicycle parking spaces based on 500 expected event attendees. This can be accommodated in the proposed parking overflow area noted on the plan. This mitigation measure would reduce this impact to less than significant level.

7. Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the County General Plan for designated intersections, roads or highways?

Discussion: According to the traffic study performed by Fehr and Peers, dated August 27, 2013 and January 9, 2014, (Attachment 11), the project proposes daily park operations that result in 8 additional peak hour trips, which do not reach the minimum

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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of 20 trips required to warrant a traffic analysis; therefore are not expected to significantly impact the existing peak hour level of service on surrounding intersections. The project proposes weekday evening and weekend daytime special events that are not anticipated to significantly impact traffic levels of service because the added trips occur during non-peak hours; and therefore would not reduce level of service for the streets in general. As a result, the project is not anticipated to result in significant impacts.

J. NOISE

Would the project result in:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: A noise study (Attachment 12) was prepared for the proposed project by H. Stanton Shelly, dated April 12, 2013 and revised page 5, undated. The report notes that the existing ambient noise levels from traffic on Soquel Drive and Porter Street are the dominant noise source associated with this project location. The average noise level (Leq) associated with ambient traffic noise at the Heart of Soquel site varies between 51 and 58 dBA, based on a number of noise reading locations, as specified by the traffic study.

Daily Operational Noise

Proposed daily operation of the park is not anticipated to increase the ambient noise levels due to existing background noise generated by traffic. Noise associated with daily park operation is anticipated to fall between 50 to 60 dBA, within the limit of the General Plan. Thus, daily park operations are not anticipated to result in a significant noise impact.

Music Performance Noise

Noise levels associated with musical performances are anticipated to result in an increase in the existing ambient noise levels (depending upon the volume of music) beyond that permitted at the property line. The report recommends that music performances be restricted to a maximum of 75dBA (slow meter response) at the southern boundary of the proposed park (10 foot path along Soquel Creek) and 70dBA at the northeast end of the park path along Soquel Creek and limiting the height of speakers in close proximity to the Play it Again Sports residence and direction of speakers toward the attendees only. However, the noise study does not quantify how amplified music would conform to the maximum noise standard at the property line. Thus, the applicant has revised their project scope to eliminate amplified music from the project proposal. Thus, significant noise impacts are not anticipated.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Craft Fairs, Food Fairs, and Farmers Markets

Noise levels associated with these types of fairs are not anticipated to result in an increase in the ambient noise levels unless they include amplified audio systems or background music due to ambient noise levels as noted above. A restriction to non-amplified music shall ensure that significant noise impacts do not occur.

Traffic Noise

Traffic noise associated with weekday evening special event traffic noise is projected to increase ambient noise by 3 to 5 percent and is not expected to result in a noticeable increase in noise levels.

Traffic noise associated with weekend special event traffic is anticipated to increase traffic noise by .5 to 1 dBA during several hours of peak event traffic, but would not be noticeable and would not affect the average day/night noise levels. Therefore, no significant impacts are anticipated.

2. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?

Discussion: Project construction involves activities such as clearing and grubbing, site grading, installation of drainage equipment, etc. that would result in ground borne vibration or ground borne noise levels. However, this is considered a temporary construction impact and would therefore not result in significant noise impacts.

3. Exposure of persons to or generation of noise levels in excess of standards established in the General Plan or noise ordinance, or applicable standards of other agencies?

Discussion: Per County policy, average hourly noise levels shall not exceed the General Plan threshold of 50 Leq during the day and 45 Leq during the nighttime. Impulsive noise levels shall not exceed 65 db during the day or 60 db at night.

Although the noise study recommends a mitigation measure restricting amplified music to a maximum of 75dBA on the 10 foot lineal creek pathway at the three trail intersections, and a maximum of 70 dBA at the northeast end of the path, the noise study does not quantify how the noise level would comply with the noise standard at the property line. Thus, the applicant has revised the project description to restrict the use to non-amplified music. This restriction would ensure that noise associated with special events does not exceed the General Plan standard.

4. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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without the project?

Discussion: Temporary construction related impacts to residents within proximity to the property are projected to occur as a result of operation of construction related heavy equipment. In order to avoid significant construction related noise impacts during construction, the following mitigations are recommended by the noise study: quiet design heavy equipment, good equipment maintenance and lubrication procedures to reduce noise, location of equipment away from sensitive receptors, erection of temporary barriers wherever possible around stationary equipment, and hours of construction operation limited to Monday and Friday between 8 a.m. and 5 p.m. Impacts would be considered less than significant with the implementation of the above mitigation measures.

5. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

Discussion: The project is not located within an airport land use plan or within 2 miles of an airport. Therefore, no impacts are anticipated.

6. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

Discussion: The project is not located in the vicinity of a private airstrip. Therefore, no impacts are anticipated.

K. AIR QUALITY

Where available, the significance criteria established by the Monterey Bay Unified Air Pollution Control District (MBUAPCD) may be relied upon to make the following determinations. Would the project:

1. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

Discussion: The Monterey Unified Air Pollution Control District (MUAPCD) regulates the emission of particulate matter during grading. The North Central Coast Air Basin does not meet state standards for ozone and particulate matter (PM₁₀). Therefore, the regional pollutants of concern that would be emitted by the project are ozone

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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precursors (Volatile Organic Compounds [VOCs] and nitrogen oxides [NO_x]), and PM10.

Given the modest amount of new traffic that would be generated by the project, there is no indication that new emissions of VOCs or NO_x would exceed MBUAPCD thresholds for these pollutants, and therefore would not be a significant contribution to an existing air quality violation. Nonetheless, the project would be subject to an air pollution control district permit prior to construction.

Project construction may result in a short-term, localized decrease in air quality due to generation of PM10. However, standard dust control best management practices included on the plans, such as periodic watering, will be implemented during construction to avoid impacts. Thus, no mitigation measure is required.

2. Conflict with or obstruct implementation of the applicable air quality plan?

Discussion: The project would not conflict with or obstruct implementation of the regional air quality management plan for the Monterey Bay Region. See K-1 above.

3. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

Discussion: It is not anticipated that the project would result in a cumulative increase in pollutants because the project does not proposed air pollutants as part of operation of the park. Thus, no impacts are anticipated.

4. Expose sensitive receptors to substantial pollutant concentrations?

Discussion: The project does not involve substantial pollutants. Therefore, no impacts are anticipated.

5. Create objectionable odors affecting a substantial number of people?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Discussion: The project operation does not involve odorous products. Therefore, impacts are not anticipated.

L. GREENHOUSE GAS EMISSIONS

Would the project:

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project, like all development, would be responsible for an incremental increase in green house gas emissions by usage of fossil fuels during the site grading and construction. All project construction equipment would be required to comply with the Regional Air Quality Control Board emissions requirements for construction equipment. As a result, impacts associated with the temporary increase in green house gas emissions are expected to be less than significant.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: See the discussion under L-1 above. No impacts are anticipated.

M. PUBLIC SERVICES

Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services: | | | | |
| a. Fire protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Police protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Parks or other recreational activities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Other public facilities; including the maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion (a through e): While the project represents an incremental contribution to the need for services, the increase would be minimal. Moreover, the project meets all of the standards and requirements identified by the local fire agency etc., as applicable. In addition, the park hours of operation are proposed between dawn and dusk, which restricts the potential for loitering and requirement for police protection. Furthermore, any police protection required for loitering between dusk and dawn as a result of the proposed project would not be expected to change from the police protection required for the currently vacant site.

N. RECREATION

Would the project:

1. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The proposed project is a park and provides for proposed parks identified within the Soquel Village Plan.

2. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: The proposed project is a park, which is under review here for environmental effects on the environment. However, the project is not expected to result in adverse physical effects on the environment.

O. UTILITIES AND SERVICE SYSTEMS

Would the project:

1. Require or result in the construction of new storm water drainage facilities or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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expansion of existing facilities, the construction of which could cause significant environmental effects?

Discussion: The project includes a proposed drainage retention pond and drainage swales, which are proposed to improve site drainage. The proposed plans have been reviewed and approved by Public Works Drainage (Attachment 16). Project conditions require maintenance requirements for the proposed silt and grease traps and bio swales, and assessment of the condition of the drainage outfall to ensure that any needed improvements are provided by the project. These improvements are not expected to result in significant environmental effects.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project does not include restroom facilities and would therefore have no impact on wastewater treatment. However, special events would require porta-potties, which are regulated by Environmental Health. This is included as a standard condition of approval and would not result in significant impacts to wastewater treatment.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project's wastewater flows would not violate any wastewater treatment standards.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 4. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The property has an existing water service meter for existing landscaping within Soquel Drive and for water meters related to removal of the mobile home park in 1993 and proposed removal of existing apartments located on the subject property. Prior to construction, the applicant would obtain final approval for water service fees associated with the change in historical use to the proposed park. The change in use would not result in a significant change in the historical water use on this property. Impacts would be considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 5. | Result in determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project includes standard conditions of approval requiring Environmental Health approval prior to special events to ensure that the sewage requirements of any special events are adequately addressed. Porta-potties would be required for special events only. Therefore, significant impacts are not anticipated.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 6. | Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project requires the off haul of construction debris, in the form of soil, concrete, asphalt, and baserock, to be disposed of at a landfill. Standard conditions of approval are included in the project.

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 7. | Comply with federal, state, and local statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Minimal amounts of waste would be generated by park operations. Therefore, significant impacts are not anticipated.

P. LAND USE AND PLANNING

Would the project:

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

Special Events:

The Board of Supervisor's generally allows four "Special Events" per year at a rate of one per quarter where events are exclusive to ticketed attendees, as regulated by

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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County Code Title 10. However, this is a County practice and the number of ticketed events is not specifically codified. Furthermore, no County Code or General Plan provisions are identified in the Chapter 7, Parks, Recreation and Public Facilities, or County practice applies to other types of non-exclusive special events, other than limits established based on noise, traffic, parking, or health and safety parameters established by environmental health and fire, etc. Limiting large weekend special events providing non-amplified music to four per year would be consistent with the County practice for park special events and will be included in the conditions of approval. However, a specific limit is not required to ensure that significant impacts do not occur. Furthermore, no such special event limit is necessary for consistency with the General Plan for smaller weekday summer non-ticketed evening events either. Thus, project impacts are not anticipated to result in significant impacts with regard to the County Code, General Plan or Specific Plan.

2. Conflict with any applicable habitat conservation plan or natural community conservation plan?

Discussion: No adopted habitat conservation plan or community conservation plan exists for the subject property. Therefore, no impacts are anticipated.

3. Physically divide an established community?

Discussion: The project would not include any element that would physically divide an established community.

Q. POPULATION AND HOUSING

Would the project:

1. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

Discussion: The proposed project would not induce substantial population growth in an area because the project does not propose any physical or regulatory change that would remove a restriction to or encourage population growth including, but not limited to the following: new or extended infrastructure or public facilities; new commercial or industrial facilities; large-scale residential development; accelerated conversion of homes to commercial or multi-family use; or regulatory changes including General Plan amendments, specific plan amendments, zone reclassifications, sewer or water annexations; or LAFCO annexation actions.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
2. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion: The proposed project would not displace any existing housing since the site is currently vacant. The removal of the former mobile home park in 1993 and issues related to affordable housing compliance were previously addressed by the former Redevelopment Agency, including relocation of mobile home park tenants. Therefore, no impacts to affordable housing are anticipated.

3. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The proposed project would not displace any people since the site is currently vacant. The removal of the former mobile home park, and issues related to affordable housing compliance, were previously addressed by the former Redevelopment Agency, including relocation of mobile home park tenants. Therefore, no impacts to affordable housing are anticipated.

R. MANDATORY FINDINGS OF SIGNIFICANCE

	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion: The potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory were considered in the response to each question in Section III of this Initial Study. The impacts are summarized below.

Impacts

Potentially significant impacts to resources include impacts from park lighting, grading operations to potential archaeological resources, impacts to riparian habitat and vegetation removal along Soquel Creek (though no special status plants were identified), impacts to the potential presence of yellow legged frog and the western pond turtle within Soquel Creek, and noise.

Mitigations

Mitigation measures include: park light standards to include non-glare lights with light shields, special event lighting directed away from the Soquel Creek Riparian Corridor, the presence of an archaeological consultant on site during grading activities to monitor for archaeological resources during construction, limiting noise levels to the General Plan standard and noise directed away from the riparian corridor.

These mitigation measures reduce impacts to a level below significance. As a result of this evaluation, there is no substantial evidence that, after mitigation, significant effects associated with this project would result. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

- | | Potentially Significant Impact | Less than Significant with Mitigation | Less than Significant Impact | No Impact |
|--|--------------------------------|---------------------------------------|-------------------------------------|--------------------------|
| 2. Does the project have impacts that are individually limited, but cumulatively considerable? ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion: In addition to project specific impacts, this evaluation considered the projects potential for incremental effects that are cumulatively considerable. As a result of this evaluation, no impacts were determined to be potentially significant cumulative effects. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

- | | Potentially Significant Impact | Less than Significant with Mitigation | Less than Significant Impact | No Impact |
|---|--------------------------------|---------------------------------------|------------------------------|--------------------------|
| 3. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Discussion: In the evaluation of environmental impacts in this Initial Study, the potential for adverse direct or indirect impacts to human beings were considered in the response to specific questions in Section III. As a result of this evaluation, there were determined to be potentially significant effects to human beings related to potential traffic and circulation impacts resulting from large, special events, and health and safety impacts, including noise, to public attendees and surrounding properties.

However, mitigation has been included that clearly reduces these effects to a level below significance. These mitigations include required and adequate signage for special event parking, additional bicycle parking spaces, and authorization for use of off-site parking lots is also recommended commensurate to the parking requirement for each special event, non-amplified music at special events to ensure noise meet the General Plan standard. As a result of this evaluation, there is no substantial evidence that, after mitigation, there are adverse effects to human beings associated with this project. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

IV. REFERENCES USED IN THE COMPLETION OF THIS ENVIRONMENTAL REVIEW INITIAL STUDY

County of Santa Cruz 1994 *General Plan for the County of Santa Cruz, California*. Adopted by the Board of Supervisors on May 24, 1994, and certified by the California Coastal Commission on December 15, 1994.

County of Santa Cruz.

Soquel Village Plan. Adopted by the Board of Supervisors on May 22, 1990.

County Geographic Information System

Environmental Health Hazardous Materials Site List

V. ATTACHMENTS

1. *Location Map, Map of Zoning Districts; Map of General Plan Designations; and Assessor's Parcel Map.*
2. *Project Plans, Sheet 1,3,5, 8, 9,10, prepared by SSA Landscape Architects, dated 5/4/2012
Sheet 2, 4, prepared by Edmundson and Associates Land Surveying, dated 4/10/2012
Sheet 6, 7, prepared by Whitson Engineers, dated 5/4/2012*
3. *Geologic Hazards Assessment, prepared by Joe Hanna, Planning Department, dated 7/21/2010*
4. *Stormwater Management Plan, prepared by Casey Carlson, Department of Public Works, dated 6/30/2011*
5. *Biologic Report, prepared by Biotic Resources Group, dated June 27, 2011*
6. *Biologic Report Review Letter, prepared by Ecosystems West, dated October 4, 2011*
7. *Biologic Report Review Letter, prepared Matt Johnston, dated October 9, 2011*
8. *Arborists Report, prepared by Nigel Bolton dated May 9, 2011*
9. *Grading Report, prepared by Casey Carlson, dated June 30, 2011*
10. *Memo from John Presleigh, Department of Public Works Director, dated July 15, 2011*
11. *Transportation Impact Analysis, prepared by Fehr & Peers, dated August 27, 2013 and January 9, 2014*
12. *Noise Study, prepared by H. Stanton Shelly, dated April 12, 2013 and revised updated sheet 5, undated*
13. *Archaeological Report, prepared by Dr. Robert Cartier, dated March 15, 2013*
14. *Archaeological Report Review, prepared by Matt Johnson, dated April 23, 2013 Antonella Gentile, dated 23, 2013*
15. *Applicant's Program Statement, dated October 10, 2013*
16. *Public Agency Correspondence*

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY FOR ASSUMERS ANY LIABILITY FOR OTHER USERS. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED. © COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998

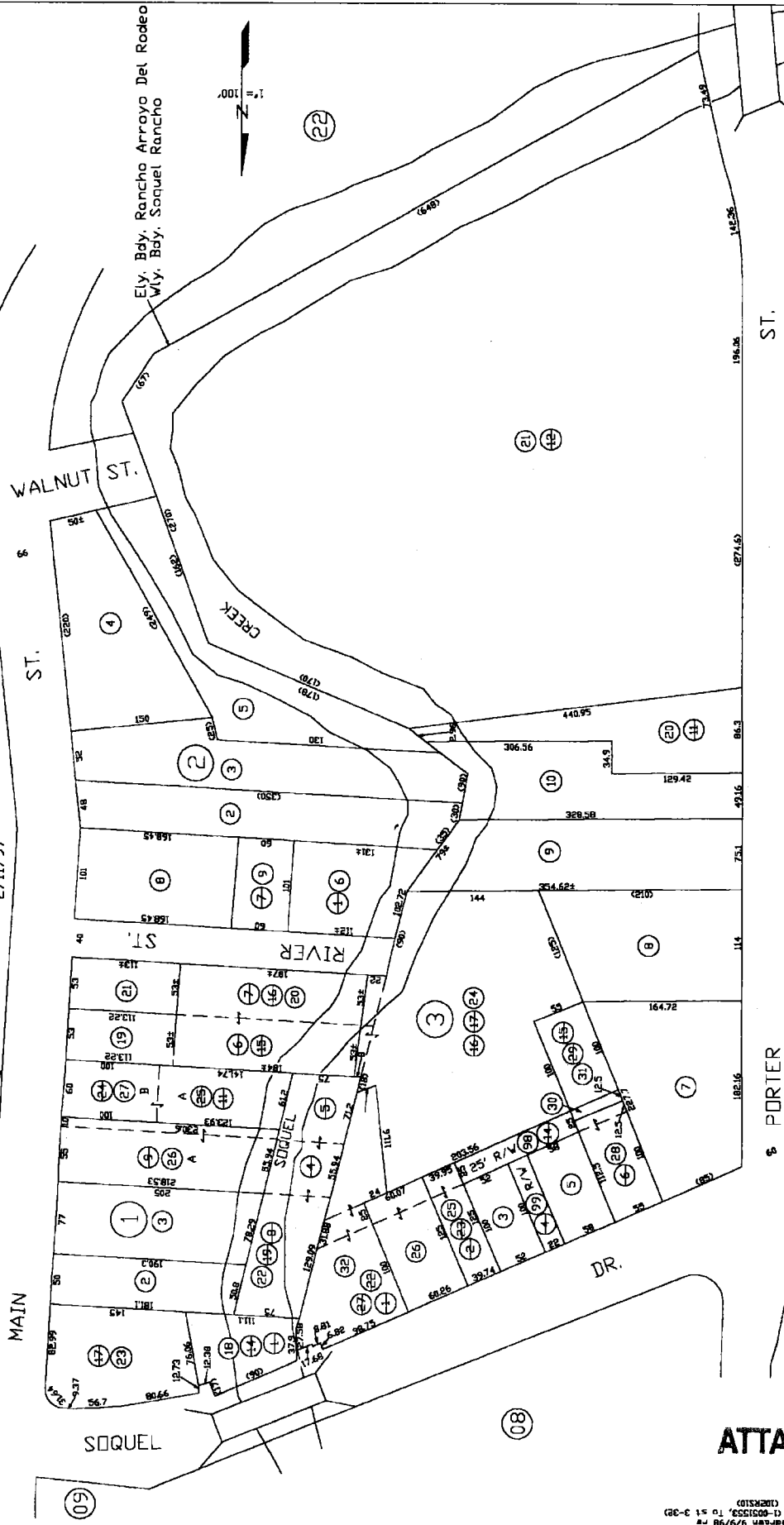
POR. RANCHO ARROYO DEL RODEO & SOQUEL RANCHO

SEC. 10, T.11S., R.1W., M.D.B. & M.

30-15

Tax Area Code 96-101

102RS10 21PM43 7/24/02 6/10/76 92RS14 2/11/97



Assessor's Map No. 30-15
County of Santa Cruz, Calif.
Sept. 1998

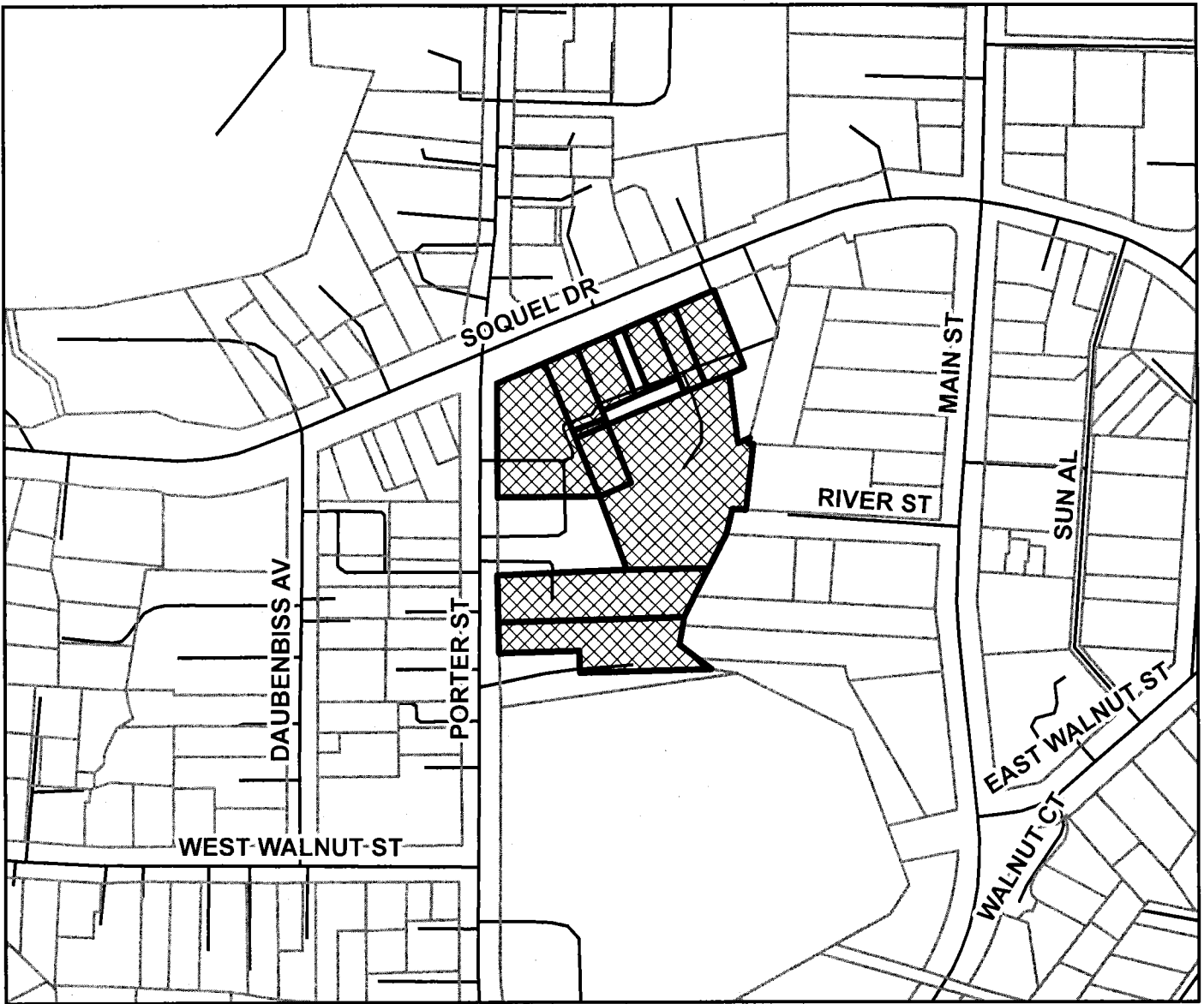
Note - Assessor's Parcel & Block
Numbers Shown in Circles.

ATTACHMENT 1




Electronically Redrawn 9/9/98
Rev 10/28/01 CA (1-005153), to 51-3-20
Rev 10/23/02 CA (CHECKS10)

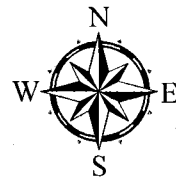


Location Map



LEGEND

-  SUBJECT PARCELS
-  Assessors Parcels
-  Streets

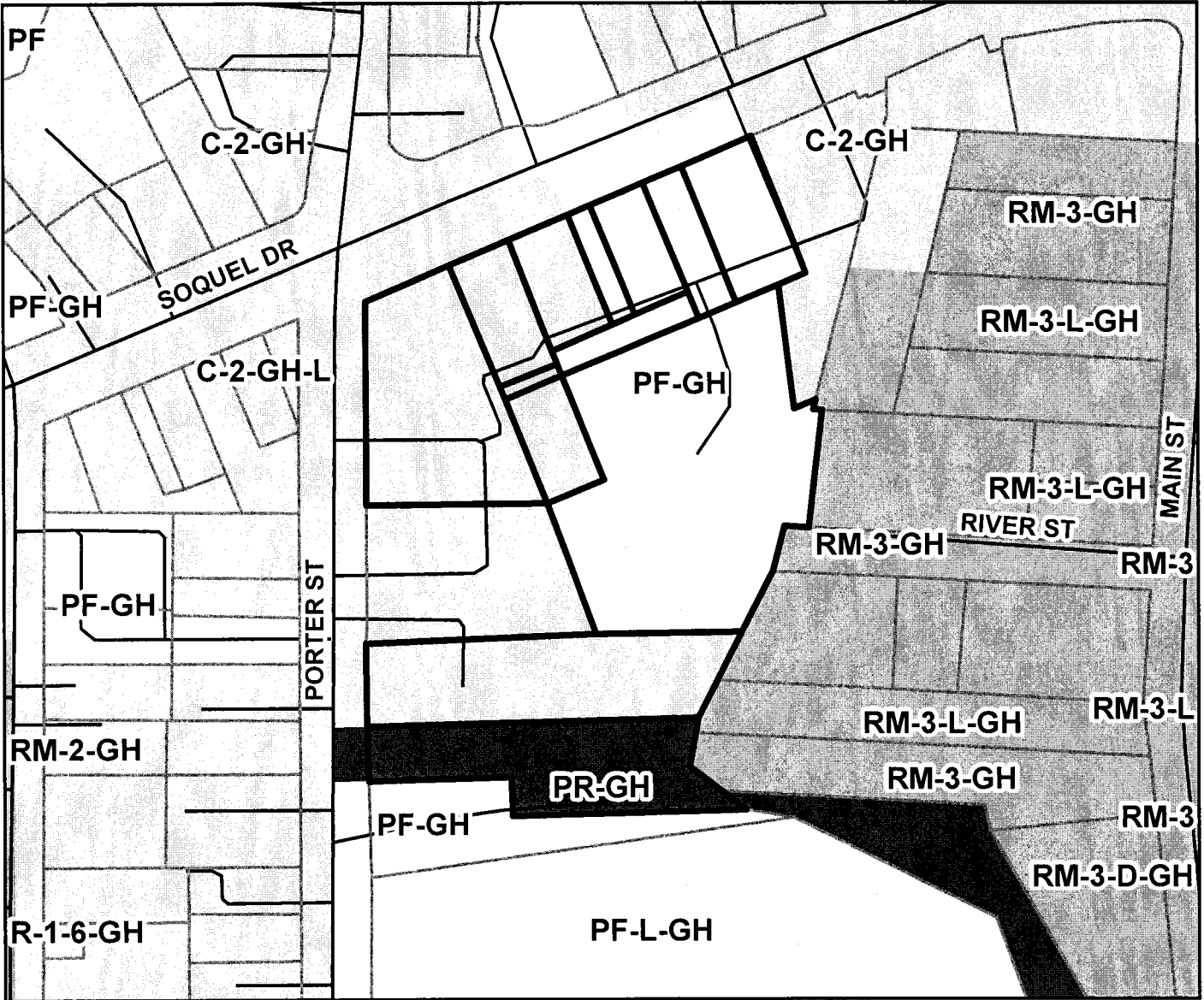


Map Created by
County of Santa Cruz
Planning Department
December 2012

ATTACHMENT 1

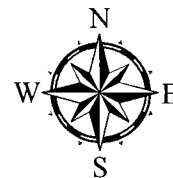


Zoning Map



LEGEND

- SUBJECT PARCELS
- Assessors Parcels
- Streets
- PUBLIC FACILITY
- COMMERCIAL-COMMUNITY
- PARK
- RESIDENTIAL-MULTI FAMILY
- RESIDENTIAL-SINGLE FAMILY

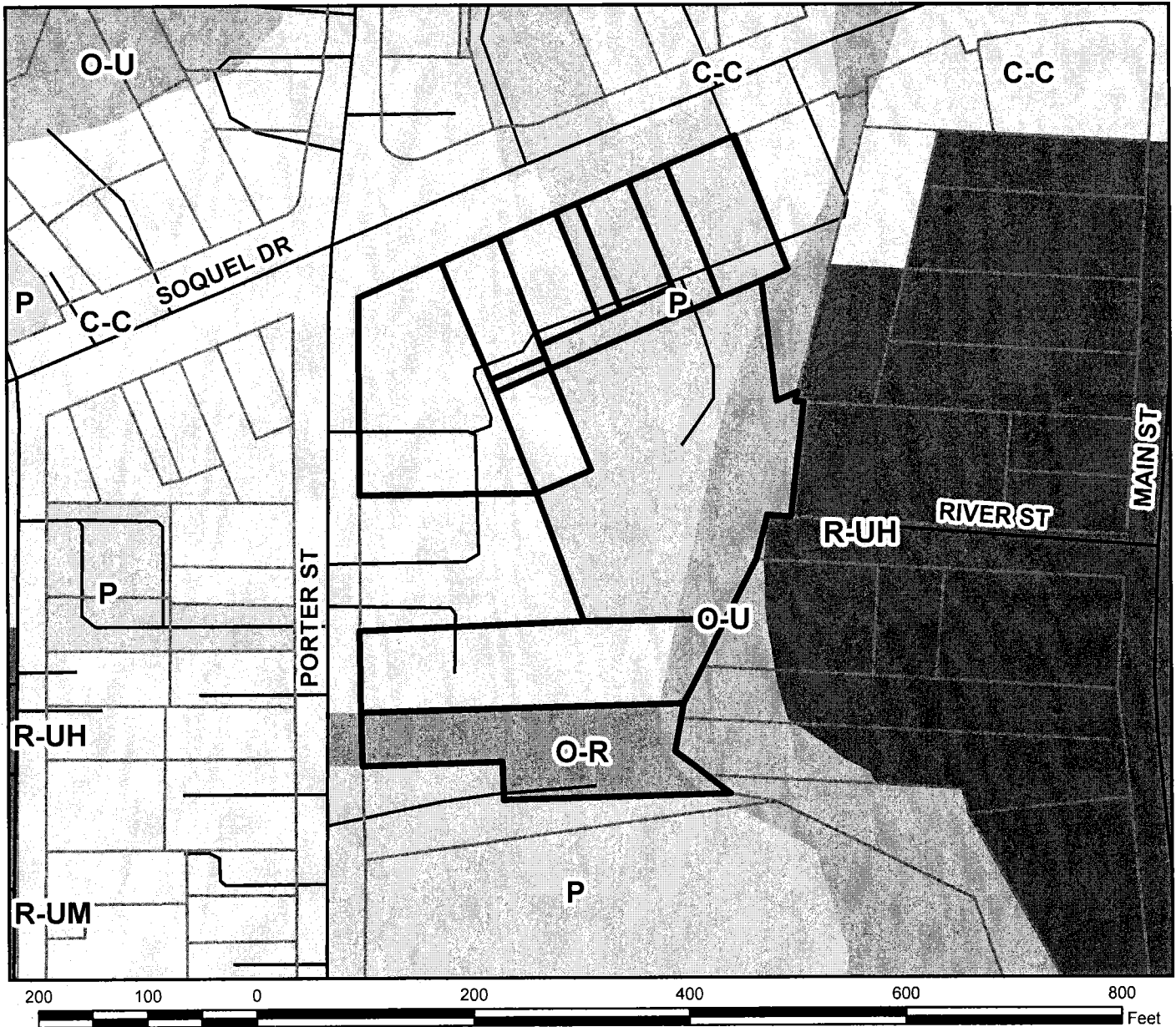


Map Created by
 County of Santa Cruz
 Planning Department
 December 2012

ATTACHMENT 1

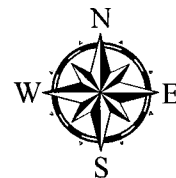


General Plan Designation Map



LEGEND

- SUBJECT PARCELS
- Assessors Parcels
- Streets
- Commercial-Community
- Public Facilities
- Urban Open Space
- Parks and Recreation
- Residential - Urban Medium Density
- Residential - Urban High Density



Map Created by
 County of Santa Cruz
 Planning Department
 December 2012

ATTACHMENT

1



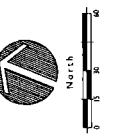
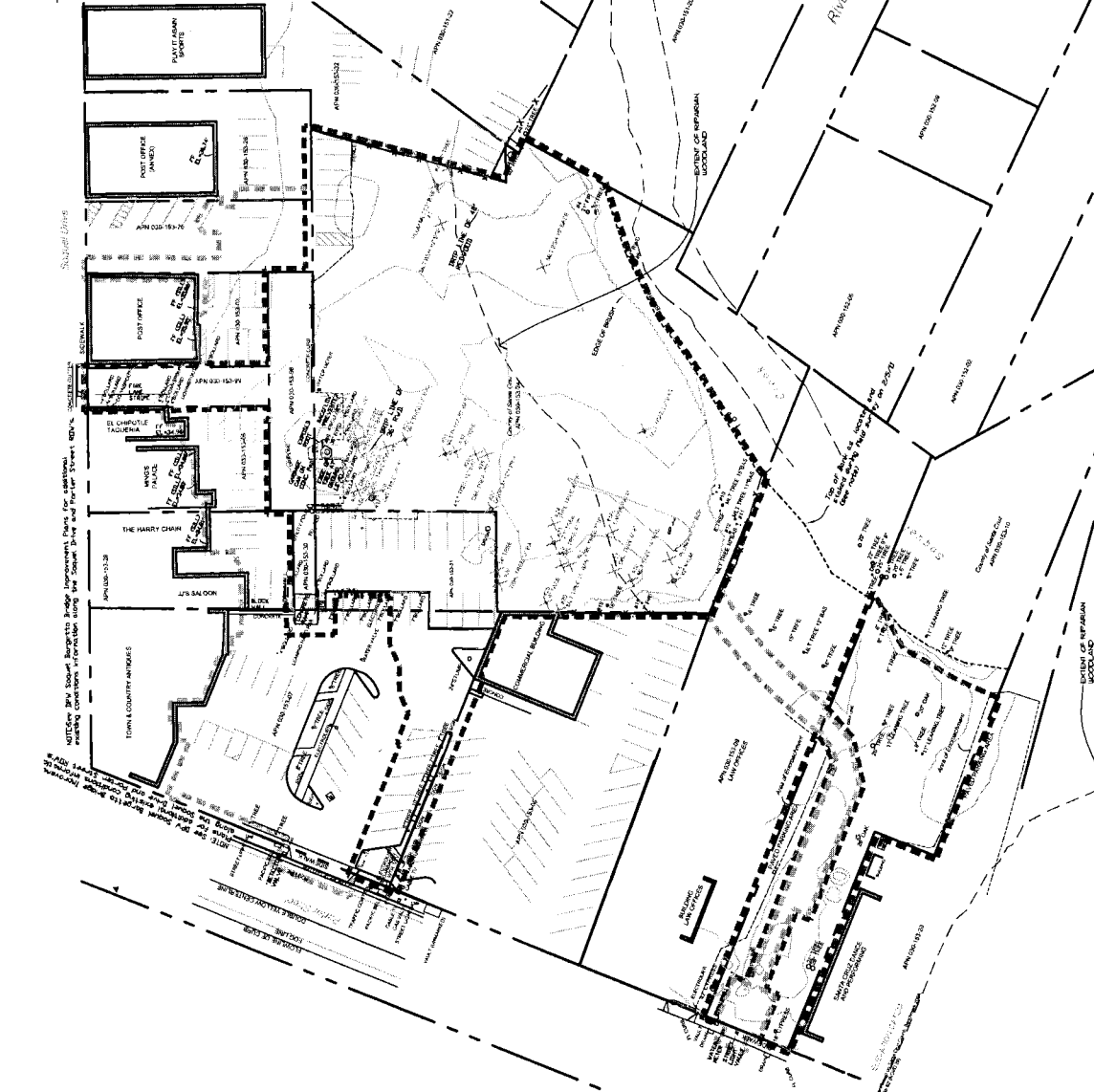
DATE: 05/09/11	PROJECT: HEART OF SOUL
SCALE: AS SHOWN	DATE: 05/09/11
DESIGNED BY: [Name]	CHECKED BY: [Name]
DRAWN BY: [Name]	DATE: 05/09/11

TREE EVALUATION dated 05/09/11

SHEET LEGEND

SYMBOL	DESCRIPTION
Block	Block
Circle	Circle
Triangle	Triangle
Square	Square
Star	Star
Circle with X	Circle with X
Circle with dot	Circle with dot
Circle with cross	Circle with cross
Circle with asterisk	Circle with asterisk
Circle with plus	Circle with plus
Circle with minus	Circle with minus
Circle with slash	Circle with slash
Circle with hash	Circle with hash
Circle with percent	Circle with percent
Circle with dollar	Circle with dollar
Circle with copyright	Circle with copyright
Circle with trademark	Circle with trademark
Circle with registered	Circle with registered
Circle with infinity	Circle with infinity
Circle with parallel	Circle with parallel
Circle with perpendicular	Circle with perpendicular
Circle with diagonal slash	Circle with diagonal slash
Circle with horizontal slash	Circle with horizontal slash
Circle with vertical slash	Circle with vertical slash
Circle with top-left to bottom-right slash	Circle with top-left to bottom-right slash
Circle with top-right to bottom-left slash	Circle with top-right to bottom-left slash
Circle with asterisk and plus	Circle with asterisk and plus
Circle with asterisk and minus	Circle with asterisk and minus
Circle with asterisk and slash	Circle with asterisk and slash
Circle with asterisk and percent	Circle with asterisk and percent
Circle with asterisk and dollar	Circle with asterisk and dollar
Circle with asterisk and copyright	Circle with asterisk and copyright
Circle with asterisk and trademark	Circle with asterisk and trademark
Circle with asterisk and registered	Circle with asterisk and registered
Circle with asterisk and infinity	Circle with asterisk and infinity
Circle with asterisk and parallel	Circle with asterisk and parallel
Circle with asterisk and perpendicular	Circle with asterisk and perpendicular
Circle with asterisk and diagonal slash	Circle with asterisk and diagonal slash
Circle with asterisk and horizontal slash	Circle with asterisk and horizontal slash
Circle with asterisk and vertical slash	Circle with asterisk and vertical slash
Circle with asterisk and top-left to bottom-right slash	Circle with asterisk and top-left to bottom-right slash
Circle with asterisk and top-right to bottom-left slash	Circle with asterisk and top-right to bottom-left slash

NO.	TREE SPECIES	SIZE	LOCATION	CONDITION	REMARKS
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LANDSCAPE ARCHITECTS
INCORPORATED
1700 S. GARDEN STREET
SANTA ANA, CALIFORNIA 92705
PH: (714) 451-1655
TX: (714) 451-1684
FAX: (714) 451-1684
WWW.LANDSCAPEARCHITECTS.COM

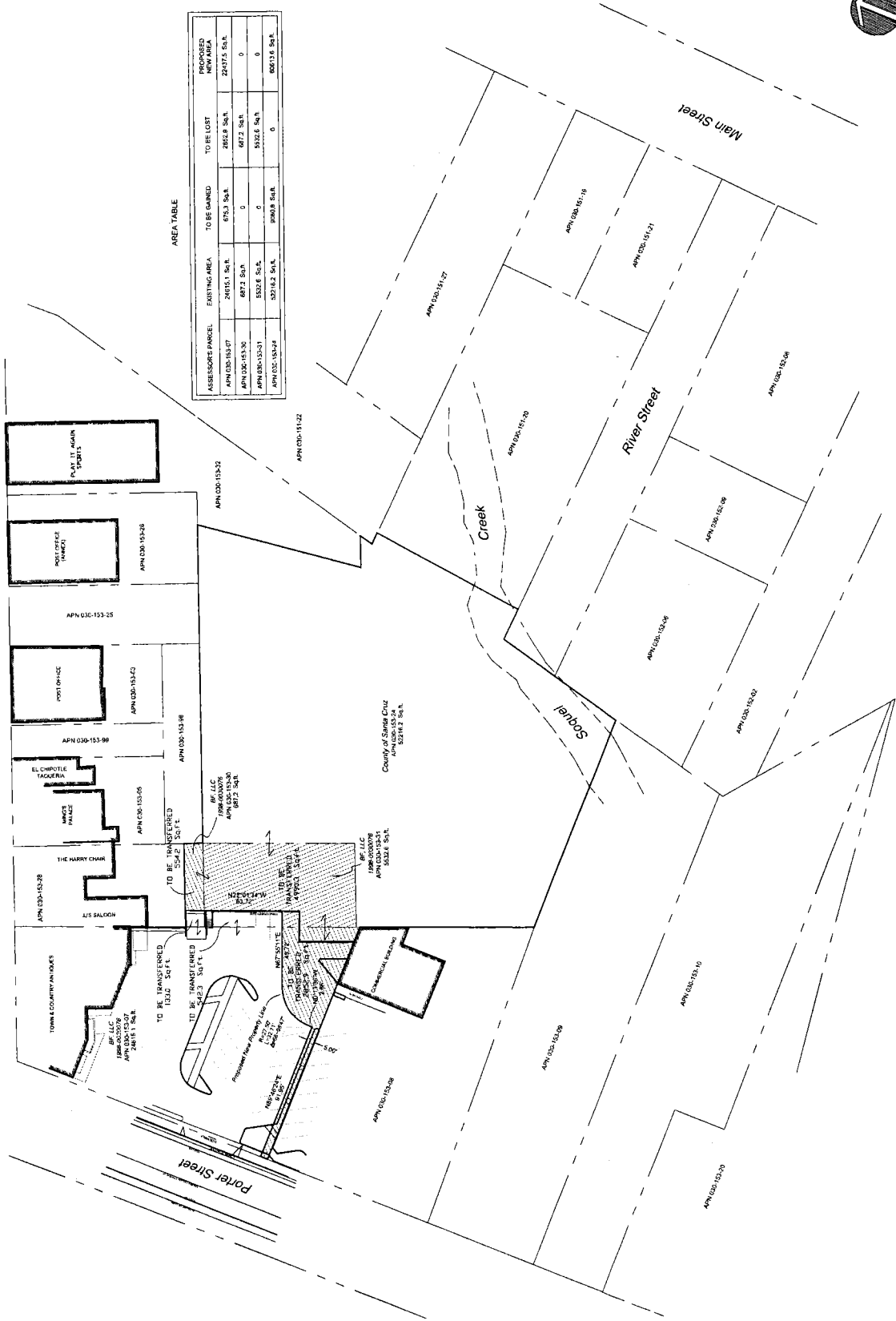


HEART OF SOQUEL CONCEPTUAL MASTER PLAN
COUNTY OF SANTA CLARA DEPARTMENT OF PUBLIC WORKS
COUNTY ENGINEER
10000 S. GARDEN STREET
SANTA ANA, CALIFORNIA 92705

DATE	11/15/11
DRAWN BY	DAVID R. SMITH
CHECKED BY	DAVID R. SMITH
SCALE	AS SHOWN
TITLE	LOT LINE ADJUSTMENT MAP

LOT LINE ADJUSTMENT MAP
04 of 10

Soquel Drive



AREA TABLE

ASSESSOR'S PARCEL	EXISTING AREA	TO BE GAINED	TO BE LOST	PROPOSED NEW AREA
APN 030-153-07	2445.1 Sq. Ft.	675.3 Sq. Ft.	2862.9 Sq. Ft.	2247.5 Sq. Ft.
APN 030-153-30	4872 Sq. Ft.	0	4872 Sq. Ft.	0
APN 030-153-31	5322.6 Sq. Ft.	0	5322.6 Sq. Ft.	0
APN 030-153-24	3218.2 Sq. Ft.	3000.8 Sq. Ft.	0	6219.0 Sq. Ft.



DATE:	11/11/13
PROJECT:	HEART OF SOQUEL
SCALE:	1" = 100'
SHEET:	05 OF 10
DATE:	11/11/13
PROJECT:	HEART OF SOQUEL
SCALE:	1" = 100'
SHEET:	05 OF 10

**SPECIAL COMMUNITY EVENTS
 EXAMPLE LAYOUT PLAN**

SPECIAL COMMUNITY EVENTS LEGEND

SYMBOL **DESCRIPTION**

--- LIMIT OF PHASE OF WORK

--- LIMIT OF EXISTING PHASES OF WORK

--- EXISTING PROPERTY LINE (SEE SHEET C-4)

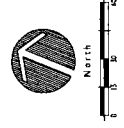
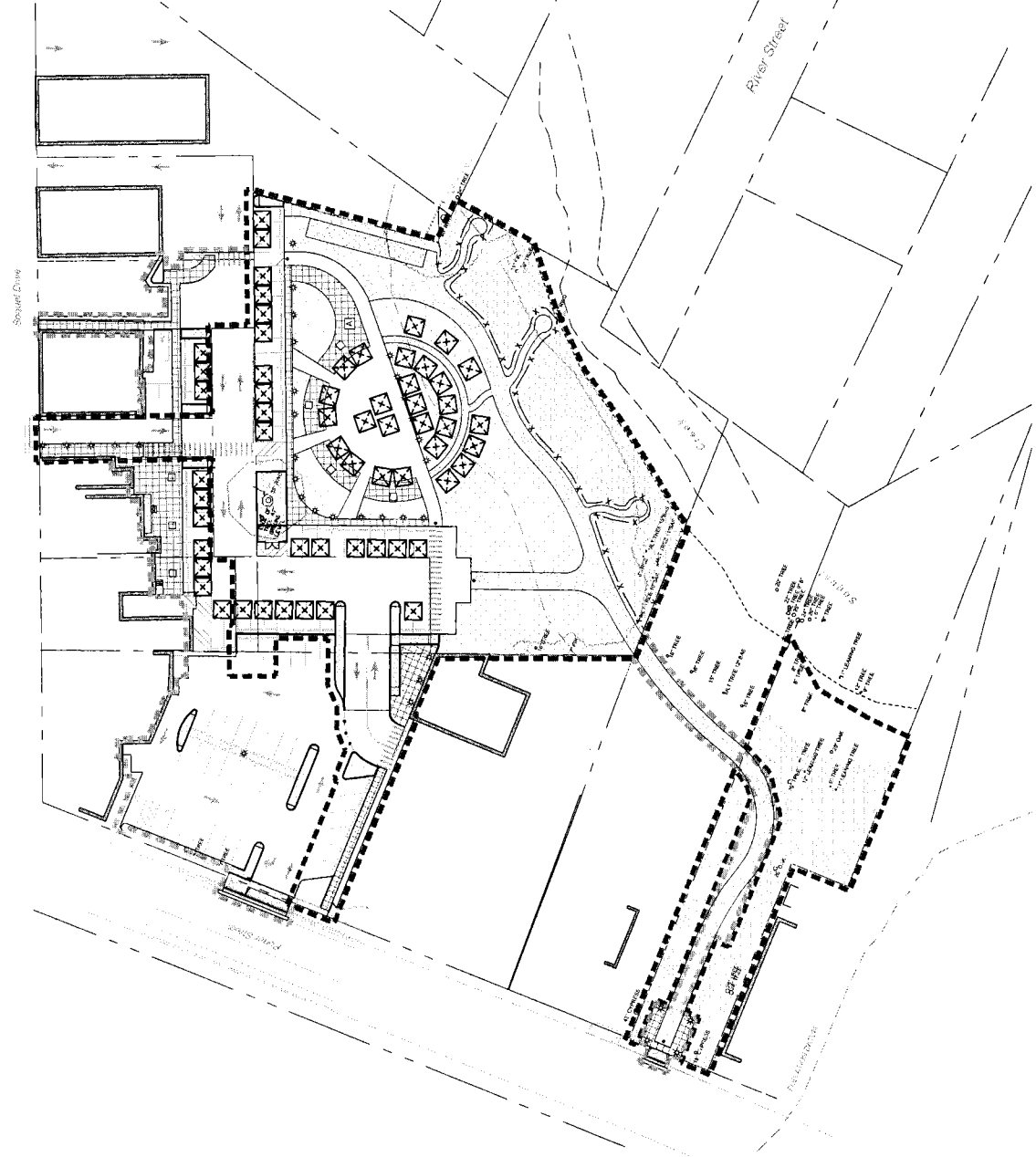
--- LIMITS OF REPAIR AND MAINTENANCE

--- LIMITS OF REPAIR AND MAINTENANCE

--- 10' x 10' TENT

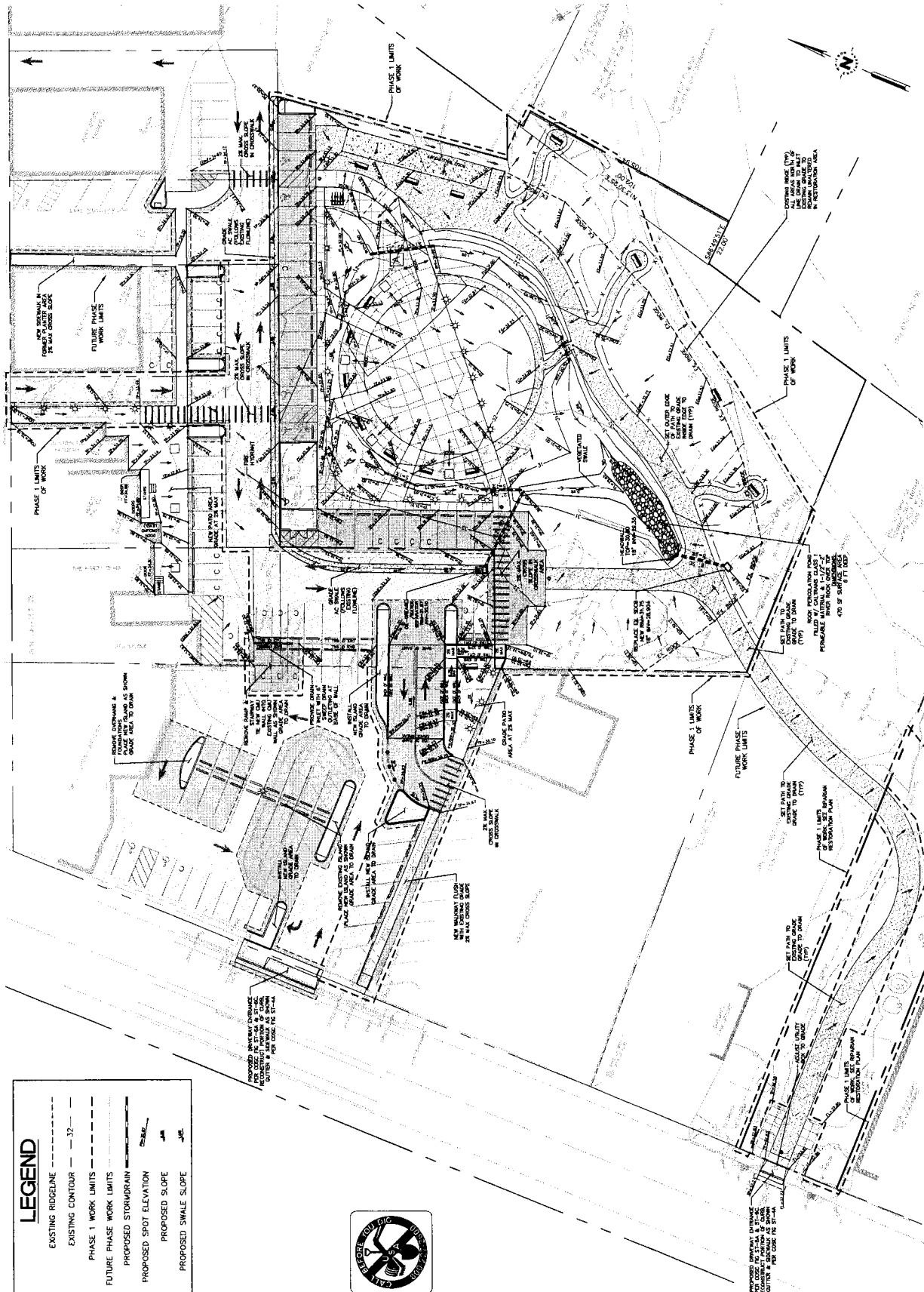
SPECIAL COMMUNITY EVENTS NOTES

1. LOCATION FOR 10' x 10' TENTS ARE SHOWN AS AN EXAMPLE OF POSSIBLE TEMPORARY SPACE USAGE AT SPECIAL EVENTS.
2. FOR PERMANENT SITE IMPROVEMENTS AND MATERIALS, REFER TO SHEET A.
3. ALL UTILITY PLANS.



PROJECT NO.	1000150
DATE	05.14.2013
DRAWN BY	RMT
CHECKED BY	PMV
SCALE	1" = 20'
SHEET	06 of 10

GRADING AND DRAINAGE PLAN



LEGEND

- EXISTING RIDGELINE
- EXISTING CONTOUR
- PHASE 1 WORK LIMITS
- FUTURE PHASE WORK LIMITS
- PROPOSED STORMDRAIN
- PROPOSED SPOT ELEVATION
- PROPOSED SLOPE
- PROPOSED SWALE SLOPE





DATE	11/11/09
SCALE	AS SHOWN
DRAWN BY	RFW
CHECKED BY	RFW
DATE	11/11/09
JOB	1101030

EROSION CONTROL PLAN

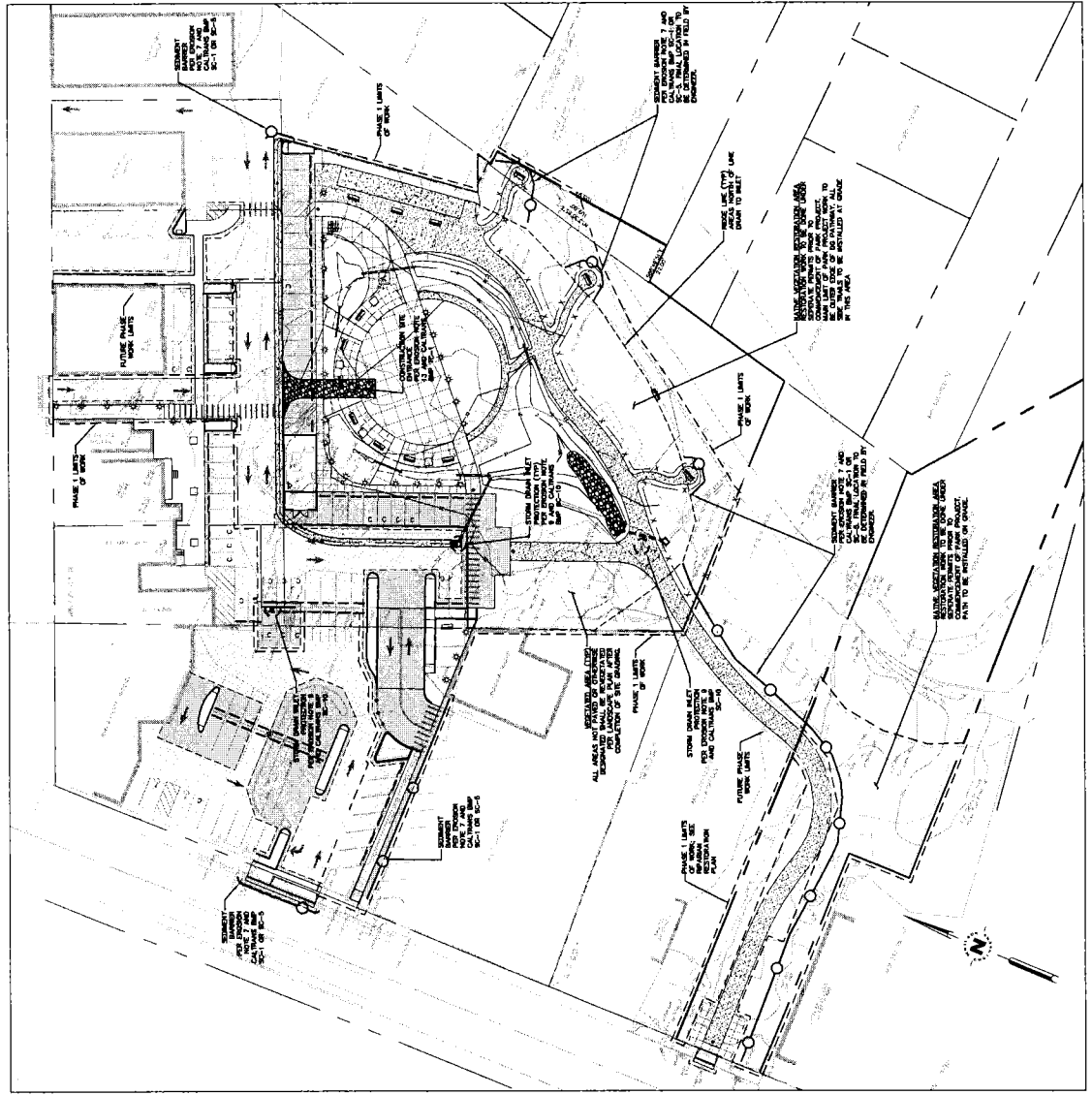
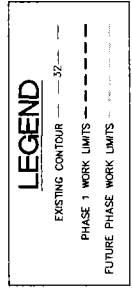
SHEET **07 of 10**

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL SUBMIT A DETAILED EROSION CONTROL PLAN ON A SHEET (COMMON WITH PAVING) FOR APPROVAL BY THE CITY ENGINEER. THE PLAN SHALL INCLUDE A PHASED CONSTRUCTION SCHEDULE WITH EROSION CONTROL MEASURES FOR EACH PHASE OF CONSTRUCTION. THE FOLLOWING EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION:
- CONSTRUCTION SHALL BE CONTROLLED AT ALL TIMES. EXISTING SPECIFIC EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. NECESSARY DRAINAGE AND DRAINAGE OF SOIL SHALL BE MAINTAINED (SEE SS-2).
- STORMWATER RUNOFF FROM THE CONSTRUCTION SITE MUST NOT BE ALLOWED TO FLOW OVER ANY PAVEMENT SURFACE.
- CONSTRUCTION MATERIALS SHALL NOT BE STORED FOR FILL OR OTHER USE ON-SITE WITHOUT BEING PROTECTED BY AN APPROVED EROSION CONTROL MEASURE.
- FOR ON-SITE CONSTRUCTION AT EXISTING AREAS, SITE ACCESSIBILITY, MATERIALS MANAGEMENT, AND EQUIPMENT MANAGEMENT SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL MATERIALS SHALL BE STORED AND COVERED TO PREVENT EROSION. ALL MATERIALS SHALL BE STORED AND COVERED WITH A SLOTTED MAT (AND ALSO BARRICADED WITH A SIGNPOST NUMBER 1) ACCORDING TO PHASED CONSTRUCTION SCHEDULE THROUGHOUT CONSTRUCTION.
- CONSTRUCTION SITE EROSION CONTROL MEASURES SHALL BE PLACED AROUND THE PERIMETER OF THE WORK ZONE AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- CONSTRUCTION SHALL BE CONTROLLED ALONG THE PERIMETER OF ALL EXISTING BUILDINGS OR EXISTING DRIVEWAYS ON THE EXISTING CONTROL PLAN. SIGNPOST NUMBERS SHALL BE CONSTRUCTED PER SECTION 11.02.01 OF THE CITY ENGINEERING DEPARTMENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS. SIGNPOST NUMBERS SHALL BE CONSTRUCTED PER SECTION 11.02.01 OF THE CITY ENGINEERING DEPARTMENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- STORMWATER SHALL BE COLLECTED FROM EXISTING DRIVEWAYS AND EXISTING DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
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BMP NOTE:
 THE BMP FACT SHEET SHALL BE IN PLACE ON SITE AS DESCRIBED IN THE BMP FACT SHEET UNLESS OTHERWISE DIRECTED BY THE PROJECT PLANS. THE BMP FACT SHEET SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE BMP FACT SHEET SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE BMP FACT SHEET SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

SS-1	SCHEDULING
SS-2	PREVENTIVE MAINTENANCE
SS-3	WOOD MULCHING
SS-4	WOOD MULCHING
SS-5	WOOD MULCHING
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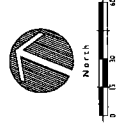
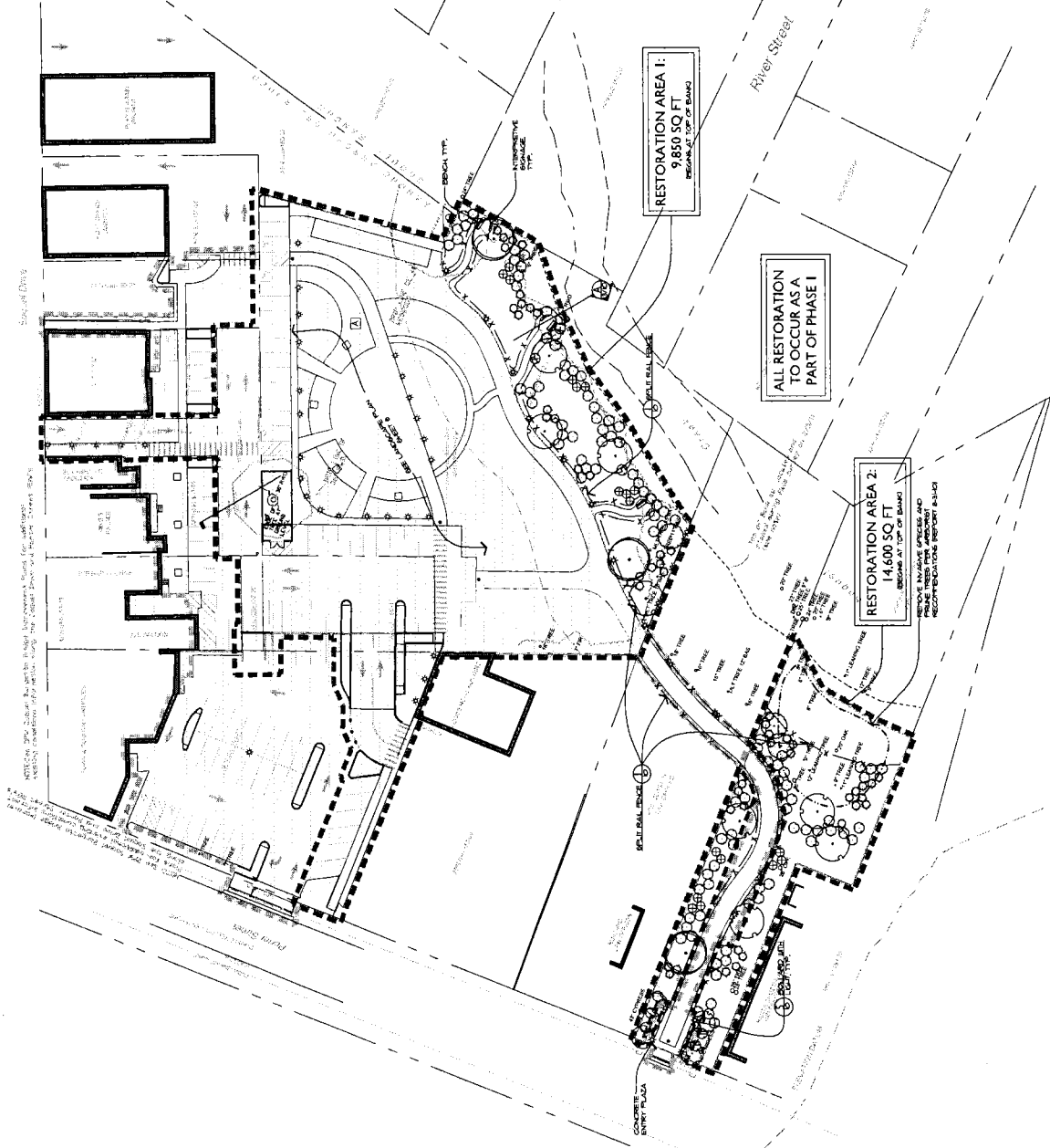
DATE:	
SCALE:	1" = 30'
DATE:	02.14.2012
BY:	MM
NO:	100010
PROJECT:	RC

CONCEPTUAL RESTORATION PLANT SCHEDULE

SYMBOL	DESCRIPTION
	14 RESTORATION AREA NATIVE TREES - LOGGED & GAIL AGER NICKERD / BOX ELDER
	3 RESTORATION AREA NATIVE TREES - EVERGREEN J.P. BOX
	10 RESTORATION AREA NATIVE TREES - EVERGREEN LOGAN
	5H RESTORATION AREA NATIVE TREES - LOGAN LOGAN
	19 RESTORATION AREA NATIVE TREES - WEST DECIDUOUS

RIPARIAN RESTORATION PLAN LEGEND

SYMBOL	DESCRIPTION
	1 LIMIT OF PHASE OF WORK
	2 LIMIT OF FUTURE PHASES OF WORK
	3 LIMIT OF RIPARIAN WOODLAND
	4 EXISTING PROPERTY LINE (SEE SHEET 04 OF 10 FOR PROPOSED LOT LINE ADJUSTMENTS)
	5 APPROPRIATE EXTENT OF INVASIVE SPECIES
	6 RESTORATION AREA
	7 SPLIT RAIL FENCE - SEE DETAIL I SHEET 10
	8 BOLLARD WITH LIGHT (EXACT LOCATIONS TO BE DETERMINED)
	9 REMOVABLE BOLLARD AND/OR GATE
	10 INTERPRETIVE SIGN
	11 BENCH
	12 TRASH RECEPTACLE





COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

July 21, 2010

David Reid, Project Manager
Redevelopment Agency of the Redevelopment Agency
701 Ocean Street, Room 510
Santa Cruz, CA 95060

Subject: GEOLOGIC HAZARDS ASSESSMENT, APN 030-153-10
LOCATION: Heart of Soquel
APPLICATION NUMBER: 101008
OWNER: Redevelopment Agency of the County of Santa Cruz

Dear Applicant:

At your request, we have completed an evaluation of the subject property with regards to the potential geologic hazards especially in regards to flooding hazards.

Enclosed are copies of the federal flood maps that indicate the flood hazard boundaries in this area and the approximate parcel location (see attachment A). The flood hazard maps delineate the extent of flooding which is anticipated during a 100-year flood, an event with a one percent chance of occurring in any given year. As can be seen from these maps the County Redevelopment property is all within the floodplain and mostly within the FEMA mapped floodway. FEMA regulations strongly discourage development within the floodway, and County Code follows the mandate of the National Flood Insurance Program (NFIP) in higher regulatory standards within the floodplain and floodway. This includes the restriction of grading to less than 50 cubic yards of fill within the floodplain and prohibition of development activities within the floodway (except for the reconstruction, repair, alteration or improvement of an existing structure)

FLOOD HISTORY OF SOQUEL CREEK AND THE HISTORY OF COUNTY OF SANTA CRUZ WORK IN SOQUEL CREEK

The project area is located in an area of known periodic flooding. The most recent flooding occurred in 1955 and 1982 causing damage throughout the Soquel Village area. As a result of this flooding, the Soquel Village Plan adopted on May 22, 1990 proposes several flood management goals including the removal of structures within the floodway and replacement with parks and parking.

Both the Porter Street Bridge and Soquel Drive Bridge have been replaced since the development of the Soquel Village Plan. Coincidentally, an episode of channel bank erosion occurred downstream of the Porter Street Bridge after this bridge was replaced. A riprap

GEOLOGIC HAZARDS ASSESSMENT

Heart of Soquel / Soquel Linear Park

protection structure was placed by the County of Santa Cruz to protect several homes from this erosion.

The entire project area is within the regulatory floodway and therefore all improvements must comply with FEMA requirements and the Geologic Hazards Code.

PROJECT RELATED QUESTIONS

The current project specific goals of the Redevelopment Agency are outlined in Attachment B, a memorandum dated July 7, 2010 from David Reid Project Manager for the Redevelopment Agency. These goals include the creation and expansion of pedestrian access, parking, roadway circulation modifications, and the retention and repair and/or replacement of the existing buildings. The memorandum presents a series of questions and requests specific answers to these questions. These questions are answered as follows:

1. What is the flood elevation for structures on the Redevelopment owned property?

The base flood elevations for structures on the Redevelopment owned parcels would depend upon the location of the structure within the AE zone. An AE zone by definition has a FEMA determined base flood elevation, and these elevations vary over the area of concern. To better represent this variation, a copy of the County's GIS layer that indicates the flood elevations is included as attachment A. The project engineer or architect will need to take these elevations and apply them to specific projects within the study area. In general the base flood ranges between 38-40 feet above mean sea level.

2. Detail the potential next steps for the retention/repair or replacement of the existing buildings?

Almost all of the Redevelopment property is located within the floodway and entirely located within the floodplain. The following sections of the Geologic Hazards Code are of particular interest in applying FEMA and the adopting Code Section to the repair and replacement of structures within the floodway on Redevelopment property in the Soquel Village. Please read these as they would be the primary basis of evaluating the retention/repair or replacement of structures within the Floodway:

- **16.10.070 (g) 1. Development and Building Within Floodway Prohibited:** All development activity, except for the reconstruction, repair, alteration or improvement of an existing structure, is prohibited within the floodway unless exempted by State or Federal laws. Any encroachment, which would cause any increase in the base flood level, is prohibited.
- **16.10.070 (g) 5. Alteration of Structures in Floodway:** Reconstruction, repair, alteration or improvement of a structure in a floodway shall not cause

GEOLOGIC HAZARDS ASSESSMENT

Heart of Soquel / Soquel Linear Park

any increase in the base flood elevation. Substantial improvements, regardless of cause, shall only be permitted in accordance with Section 16.10.070(f), above. Repair, reconstruction, alteration, or replacement of a damaged structure which does not exceed the ground floor square area of the structure before the damage occurred shall not be considered an increase in the base flood elevation.

- **16.10.070 (f) 7. Placement of Fill:** Allow the placement of fill within the one hundred year floodplain in the minimum amount necessary, not to exceed 50 cubic yards. Fill shall only be allowed if it can be demonstrated that the fill will not have cumulative adverse impacts.

The existing buildings can be retained, but flooding and stream erosion should be considered in project design (see ASCE/SEI 24-05 as incorporated by the California Building Code). A key retention/repair or replacement policy for existing buildings is that they can be replaced in the same location with the ground floor square area of the structure before the damage occurred. I have reviewed the structures in the field and they are in a significant state of decline. If the RDA chooses to replace (or repair exceeding substantial improvement) these structures, the replaced structure must comply with FEMA standards including being raised out of the floodplain. ADA access would be allowed to these structures with a method that minimizes displacement of floodwaters.

4. Can there be a change of use in these residential structures?

There can be a change of use that decreases the exposure of the structures' occupants to geologic hazards if a variance and/or exception is requested and granted. Some public uses, such as storage and bathrooms are necessary in a park. I cannot guarantee the Department's approval in advance of the submittal of a project, but the main governing issues in granting a variance would be a no-rise in flooding analysis, the need of the use in the flood zone, and a decrease of human exposure to flood hazards. A residential structure converted to storage, public bathrooms, and a bathroom space for park workers would be a decrease in the exposure of occupants to geologic hazards, but a community center or regional park office building would be an intensification. In the case where the rehabilitation exceeds substantial improvement, or the structure is replaced, the structures must comply with County Code requirements outlined in Section 16.10.070 (f).

Please note: the nature of a conversion of the space to bathrooms would most likely be substantial improvement.

5. How would ADA or other accessibility requirements be considered?

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ADA and other accessibility requirements can comply with FEMA requirements. As an example, a FEMA compliant elevator could be used to provide ADA compliance with little or no displacement of floodplain/floodway.

6. Are minor structures allowed in the Floodway?

Minor structures can be placed in the floodway if, by their nature, they do not raise the base flood elevation. Those that do not need building permits like park benches and swing sets can be placed in the floodway with little guidance, and pole structures can be placed in the floodway, but the County Geologist will have to make these decisions during either the permit review process or the design process. Trash enclosures are essentially fences and can be approved in areas if they will not accumulate debris during flooding. Fencing in general needs special consideration to avoid being placed in a manner that would collect flood debris or re-direct flood flow (44 CFR 60.3 (b) 1.).

Gazebos and amphitheaters would be discouraged unless designed to avoid raising the flood level or obstructing flow. An example of constructing an amphitheater to avoid raising the flood level would be to excavate the theater into the ground, which essentially increases the flood capacity of the floodway.

7. Can temporary structures be placed in the floodway?

Temporary structures for short periods of time (i.e. a weeks not months) between April 15 and October 15 are allowed. 44 CFR 60.3 (b) 1). The County Geologist administers the FEMA regulations by issuing a permit, but also has the authority to allow minor adjustments. If the adjustments are truly minor these variations can be approved completely at the County level. ¹

8. How much grading can occur within the floodplain or floodway?

Only 50 cubic yards of fill can be placed in the floodplain. In most cases 50 cubic yards of material can be placed in the floodplain, outside of the floodway, without the need for determining the effect on the base flood level. If fill is placed within the floodway an analysis by an engineer must be completed to demonstrate that the fill will not cause a rise in flood elevation or redirect floodwaters. Excavations are allowed in the floodplain and floodway as long as they don't redirect floodwaters. County Code does not place a limit on the allowable amount of excavation in a floodplain or floodway.

The project site is located in an erosion prone area. All of the structures must be designed per ASCE/SEI 24-05 as incorporated by the California Building Code.

¹ Significant variances require notification of the State Administrator of the NFIP. Administrators do deny these variances as inconsistent with the intent of regulations and good practices.

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9. **Would the repair, replacement, adding on to the existing one-way ramp, or creating another one-way ramp to address circulation issues be acceptable?**

The "general" answer would be that a repaired or new ramp could be constructed as long as the new ramp does not adversely alter the flow of floodwaters, and there is no rise in the flood elevation. Placement of fill is restricted to 50 cubic yards, but variances are appropriate in the case of a health and safety issue such as improved traffic flow to prevent congestion on adjacent streets, improving sight distances, and so on. In these cases the variance request would require a flood analysis that demonstrates there would be no rise in the base flood elevation, and no re-direction of drainage. The key to any approval within the floodway is the demonstration that the flood elevation will not rise (see 44 CFR 60.6 for criteria for variances), and there is a clear health and safety issue that cannot be resolved in some other manner. ¹

10. **Would new curbs, signs, lighting posts, fences, gates, retaining walls or seat walls be considered development, which would be prohibited within the floodway?**

The entire point of the floodway is to allow only those features that are necessary in the floodway that will not raise the flood elevation, or deflect flood flow. A few signs and a few light posts are necessary and have so little impact that they are placed within the floodway with little evaluation, but can be approved on a case by case basis during the building and grading permit review. Fences can obstruct flow and require proper placement, and can be placed sparingly within the floodway with greater scrutiny by both the project engineer and the County Geologist .

Retaining walls such as seated walls are development, and can be placed within the floodway with an engineer's analysis, as these structures can deflect flow. These walls will have to be designed with appreciation that the seat walls are sacrificial, and will also need to undergo the variance process specified in 44 CFR 60.6. Some of the FEMA tests would include a review of a special hardship making these requests more difficult to approve. ¹

I am not sure what "new curbs" mean, but in general a few typical roadway curbs would not cause a problem.

The project site is located in an erosion prone area. All of the structures must be designed per ASCE/SEI 24-05 as incorporated by the California Building Code.

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Sheila Mc Daniel asked the following questions in a follow-up email dated July 28th 2010; our answers are as follows:

1. **Are new residential uses allowed in the floodway/floodplain?**

New residential uses are only allowed in the floodplain (outside of floodway) as long as the development meets all requirements for construction on the floodplain (County Code Section 16.10.070(f)). New structures are not allowed in the floodway.

2(a). **Are new public facility uses/public administrative offices allowed in the floodway/floodplain in existing buildings? (b) If so, what are the restrictions/requirements (accessibility, wet proofing, fire protection?) and can they be made in the floodway/floodplain?**

(a) County Code, FEMA (See 44 CFR Section 60.22), and the General Plan prevent the construction of new public facilities within the floodplain and floodway. The General Plan is helpful for understanding the extent of the restrictions:

6.4.4 Locate Public Facilities Outside Flood Hazard Areas

(LCP) Require new utilities, critical facilities and non-essential public structures to be located outside the 100-year flood and coastal high hazard areas, unless such facilities are necessary to serve existing uses, there is no other feasible location, and construction of these structures will not increase hazards to life or property within or adjacent to the floodplain or coastal inundation areas.

New public facilities of any sort are not allowed in the floodplain including the conversion of residential to public facility. Can there be a change of use in these residential structures? There can be a change of use that decreases the exposure of the structures occupants to geologic hazards if a variance and/or exception are granted. Some public uses such as storage and bathrooms are necessary in a park. I cannot guarantee the Department's approval in advance of the submittal of a project, but the main governing issues in granting the variance would be no-rise in flooding, the need for the use in the flood zone, and a decrease of human exposure to flood hazard. A residential structure converted to storage, public bathrooms, and a bathroom space for park workers would be a decrease in the exposure of occupants to geologic hazards, but a community center or regional park office building would be an intensification. In the case where the rehabilitation exceeds substantial improvement, or the structure is replaced, the structures must comply with FEMA standards 16.10.070 (f).

Even so, remember the Heart of Soquel is within the bed of Soquel Creek, and the creek will be inundated with floodwaters that have velocities that will cause significant erosion and hydrodynamic forces, and the depth of flooding will have hydrostatic forces that can collapse well-built unprotected wood frame structures.

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Any structure placed in the Heart of Soquel within the floodway should be considered expendable.

(b) In the case where the rehabilitation exceeds substantial improvement, or the structure is replaced, the structures must comply with FEMA standards 16.10.070 (f). County Code does not allow flood proofing if the structure can be raised (see 16.10.070 3 (vi)). These structures can be raised and therefore wet flood proofing is not allowed.

3. Are interior modifications allowed to the existing buildings under FEMA regulations? What restrictions, if any, apply?

In the case where the rehabilitation exceeds substantial improvement the structures must comply with FEMA standards 16.10.070 (f).

4. For existing buildings of record, does it matter with regard to FEMA regulations whether the use of the building is residential or a public facility use with regard to changes to the building? Habitable vs. non habitable?

County Code and the General Plan restrict any change of use in the floodplain from non-habitable to habitable, and restrict the placing of public facilities in the floodplain. County Code does not allow flood proofing if the structure can be raised (see 16.10.070 3 (vi)). Therefore, since raising of the structures above the flood elevation is feasible, wet flood proofing is not allowed.

FEMA (44 CFR Section 60.22) prohibits the improper placement of public facilities in floodways, and would not consider the replacement of an existing residential structure with a public facility as "replace in kind."

SEISMICITY

This project is located in a seismically active region of northern California, as the October 17, 1989 earthquake amply demonstrated, and is relatively close to the San Andreas Fault. The Working Group on California Earthquake Probabilities² estimates that Northern California has a 30-year probability of 93% for the occurrence of an $M \geq 6.7$ earthquake, and a 15% probability of an $M \geq 7.5$ earthquake. The nearby San Andreas Fault by itself has a 30-year probability of 21% of generating an $M \geq 6.7$ earthquake. Very strong ground shaking is likely to occur at the site during the anticipated lifetime of the project and, therefore, proper structural and foundation design is imperative. In addition to the San Andreas, other nearby fault systems capable of

² Working Group on California Earthquake Probabilities - Historic California Earthquake Catalog, ² 2007 Working Group on California Earthquake Probabilities, 2008, The Uniform California Earthquake Rupture Forecast, Version 2 (UCERF 2): U.S. Geological Survey Open-File Report 2007-1437 and California Geological Survey Special Report 203 [<http://pubs.usgs.gov/of/2007/1437/>].

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producing intense seismic shaking on this property include the San Gregorio, Zayante, Sargent, Hayward, Butano, and Calaveras faults, and the Monterey and Corralitos fault complexes.

LIQUEFACTION AND LATERAL SPREADING

Attachment C is a map of liquefaction in the Soquel area, and as indicated on the map the entire site is potentially subject to liquefaction. Liquefaction is a process in younger sands and silts that behave like a heavy fluid usually due to or during earthquake shaking. The Heart of Soquel sits on younger river deposits, and is potentially susceptible to liquefaction. During an earthquake, liquefaction can cause foundations to lose their support and cause damage to a structure. Liquefaction can also induce lateral spreading, a form of landsliding, along creek embankments.

The California Building Code and the Geologic Hazards Code require a geotechnical report for building permits for significant structures constructed in an area of liquefaction.

STREAM EROSION

Soquel Creek's channel will change in configuration by creek flow over time. Future floods may bifurcate the flow of the stream, and the flow may be directed onto the Heart of Soquel properties. All development must consider the potential for stream erosion. Stream channel erosion has been evident through all of Soquel Creek, and this has been aggravated by past stream modifications. These modifications have resulted in erosion in the stream channel just down stream of the retaining wall on the southwest side of the Soquel Creek, and along the south side of the creek in the area of Soquel Elementary School.

The Soquel Avenue bridge has been improved which will allow additional debris to flow beneath the bridge possibly causing additional log jams adjacent to Soquel Elementary school,³ and allow flood water to flow at a higher velocity on the bank of Soquel Creek adjacent to the Heart of Soquel. In order to modify Soquel Creek, a complete hydrology and hydraulic study would be necessary and approval would be necessary from several agencies including:

1. Planning Department
2. Public Works Drainage
3. FEMA (to allow modification of the stream and to obtain a modification of the map)
4. U.S. Army Corps of Engineers

³ Appendix Soquel Village Plan last paragraph of the Flood Plain Description.

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5. National Marine Fisheries Service
6. U.S. Fish and Wildlife Service
7. California Department of Fish and Game

The study would require an area wide hydrology study of the Q100 storm following FEMA's standard of practice, and a related analysis of the scour along the creek. The project civil engineer would need to be experienced in flood geomorphology, and flood damage. This work would need to be coordinated with the project geotechnical engineer. The drainage study would need to demonstrate that no rise in the flood elevation would occur due to the modifications and that the modification would not cause adverse erosion within the creek. Before the County could issue a permit, FEMA would have to modify the flood maps for the Creek on a preliminary basis.

An adaptive management program, and re-vegetation plan would be required for any stream channel modification program. This plan could include the use of the Heart of Soquel during flooding as an extra storage area^{4, 5} and must consider the protection of adjacent property.

CONDITIONS:

Therefore, to comply with federal floodplain management requirements as well as Section 16.10 of the County Code (Geologic Hazards Ordinance) and to receive approval for the proposed project with respect to geologic planning issues, the following conditions must be met:

1. No development activity may occur within the floodway except that 50 cubic yards of fill can be placed within the floodplain under permit and analysis of an engineer. If grading is proposed within the floodway, an engineer must evaluate the grading and demonstrate the grading will not increase the flood elevation or cause adverse downstream impacts.
2. All new construction within the floodplain shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are

⁴ The Soquel Creek Storm Damage Recovery Plan with Recommendations for Reduction of Geologic Hazards in Soquel Village, Santa Cruz County, California. Unpublished USDA Soil Conservation Service report to the *Santa Cruz County Board of Supervisors (69 pp)*. Singer, S. and M. L. Swanson – 1983

⁵ The Soquel Creek Flood Protection Alternatives Study, a report prepared for the *Santa Cruz County Planning Department*. Swanson, M. L. – 1988

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designed and/or located to prevent water from entering or accumulating within the components during conditions of flooding.

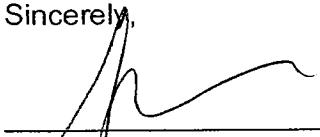
3. All new construction within the floodplain shall be constructed with materials and utility equipment resistant to flood damage and using construction methods and practices that minimize flood damage.
4. For all new construction and substantial improvements within the floodplain , the fully enclosed areas below the lowest floor that are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
5. Designs for meeting the above requirement (4) must either be certified by a registered professional engineer or architect; or meet or exceed the following minimum criteria:
 - a. EITHER a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided. The bottom of all openings shall be no higher than one foot above grade. The openings may be equipped with screens, louvers, valves or other coverings or devices, provided that they permit the automatic entry and exit of floodwaters; OR
 - b. Be certified to comply with a local flood-proofing standard approved by the Federal Insurance Administration.
6. Non-residential structures shall be flood proofed if elevation above the 100-year flood plain is not feasible. Flood proofed structures shall meet the following criteria:
 - a. The structure and elements that function as a part of the structure such as a furnace or hot water heater must be flood proofed so that the structure is watertight with walls substantially impermeable to the passage of water;
 - b. The structure must be capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy; and
 - c. The building plans must indicate the specific flood proofing measures which have been designed for the structure and the elevation relative to mean sea level and native grade to which these flood proofing measures will be constructed before the building permit can be approved by the Planning Department. A registered professional architect or civil engineer must certify the plans.
7. After the building plans are approved, a Flood Proofing Certificate will be mailed to the property owner. A state-registered civil engineer or licensed architect must complete this certificate by indicating the elevation to which flood proofing was achieved before a final building inspection of the structure can occur.

8. New septic systems and leachfields shall not be located within the 100-year floodplain. No expansion of existing septic systems or leachfields shall be allowed within the 100-year floodplain.
9. The placement of fill shall be allowed only when necessary. The amount allowed will not exceed 50 cubic yards and only as part of a permitted development and only if it can be demonstrated through environmental review that the fill will not have cumulative adverse impacts.
10. A geotechnical engineering report is necessary for the project if the work includes structures, stream modifications, or grading. A liquefaction study will be required for replacement structures or alterations of buildings that include substantial improvements.
11. The project civil engineer must consider stream erosion in the design of the project improvements.
12. A drainage study completed by a civil engineer that is experienced in drainage control must prepare a study that promotes Low Impact Development. The Heart of Soquel is a low point adjacent to a manmade levee. Ponding occurs at this location and special care will need to be made to control the affects of ponding on the improvements.
13. The geotechnical engineer must confirm that any tree removal from the levee will not affect the integrity of the creek embankment.
14. A engineered drainage and grading plan will be required for any project that incorporates modification to structures, road or parking improvements, or similar features.
15. The County of Santa Cruz Planning Department, FEMA and several other agencies must approve any modification of the channel. Any study must use FEMA methodology. The study must be submitted with a Riparian Exception, Grading Permit, Geotechnical Engineering Report Review, and a Hydrology Report Review.
16. The project site is located in an erosion prone area. All of the structures must be designed per ASCE/SEI 24-05 as incorporated by the California Building Code.
17. A Declaration form acknowledging a possible flood hazard to the parcel must be completed prior to issuance of a building permit. This declaration will be written based upon the final project design at the time of the issuance of the building permit.


If you have any questions concerning the assessment of this property for flood hazards or the permit conditions described above please call me at 454-3175. Questions regarding insurance coverage under the National Flood Insurance Program should be directed to an insurance agent.

Please note that this determination may be appealed within 14 calendar days. Please contact me if you would like to file an appeal and I will provide guidance on how to proceed.

Sincerely,



JESSICA DUKTIG
Resource Planner
Environmental Planning



JOE HANNA
County Geologist
CEG #1313

FEMA Flood Map
 Parcel 030-153-10 and 24
 Heart of Soquel RDA Properties

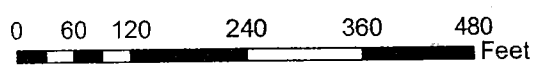
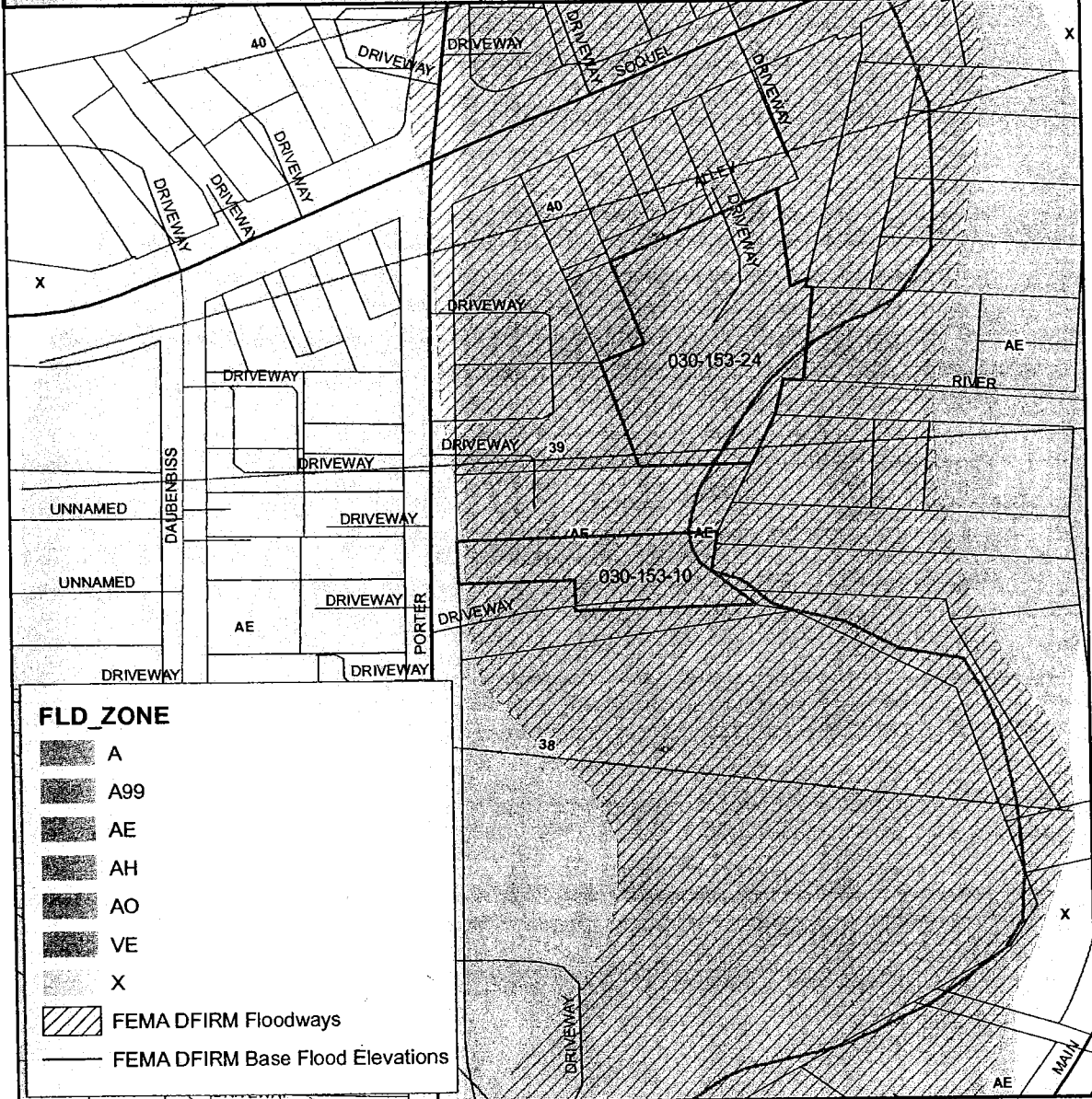


Figure #

Map created by JLD
 August 2010



**COUNTY OF SANTA CRUZ
DEPARTMENT OF PUBLIC WORKS**

701 Ocean Street – 4th Floor, Santa Cruz, CA 95060
Phone: (831) 454-2160 Fax: (831) 454-2385

STORMWATER MANAGEMENT REPORT

FOR

**HEART OF SOQUEL
CONCEPTUAL MASTER PLAN**

RDA JOB NO. 88217

June 30, 2011

PREPARED BY:

**CASEY CARLSON, CIVIL ENGINEER
PUBLIC WORKS – REDEVELOPMENT DIVISION**

BASIS OF DESIGN:

- 1. COUNTY DESIGN CRITERIA, JUNE 2006 EDITION**
- 2. PROJECT PLANS & SPECIFICATIONS**

1.0 INTRODUCTION

The proposed project is located southeast of the intersection of Soquel Drive and Porter Street in Soquel. The primary project goal is to improve existing parking and circulation, and provide a public space for gatherings and community events. The project has several phases and proposes development of several parcels including some private parking lot rehabilitation. The primary project area is parcel 030-153-24, this parcel is currently a former mobile home site; the project proposes to convert this site into a public park. The park site will constitute the majority of the new improvements for the project, most other work consists of rehabilitation of existing parking lots on grade and a pedestrian DG pathway to be built on existing grade. With a reduction of imperviousness and the addition of several treatment measures, drainage routing and water quality will be significantly improved on the park site. Drainage routing for other project areas will remain unaltered from their current configurations.

2.0 BASIS OF CALCULATIONS

- The **Rational Formula** (below) is used to determine Surface Flow Rates:

$$Q=C_a C_i i_a A$$

Such that:

- Q= Estimated Peak Surface Runoff (CFS)
- C_a= Antecedent Moisture Factor (Unitless)
- C= Runoff coefficient (Unitless)
- i_a= Rainfall Intensity Adjustment Factor (Unitless)
- i= Rainfall Intensity (in/hr)
- A= Area of Site (Acres)

- **Manning's Equation** (below) is used to determine Open Channel Flow:

$$Q=1.486n^{-1}AR^{2/3}S^{1/2} \quad \text{and} \quad R=A/P$$

Such that:

- Q= Flow in Channel (CFS)
- n= Manning's roughness coefficient (unitless)
- A= Flow Area of Channel (SF)
- P= Wetted Perimeter of Channel (FT)
- R= Hydraulic Radius of Channel (FT)
- S= Longitudinal Slope in Channel (FT/FT)

3.0 DESCRIPTION OF SITE DRAINAGE PATTERNS

<u>Area</u>	<u>Description</u>
-------------	--------------------

- | | |
|---|--|
| A | Basin Drains South to a Grease Trap Inlet at the southeast corner of the parking lot on APN 030-153-31 |
| B | Basin drains generally southwest overland to an inlet at the southwest corner of APN 030-153-24, and from there outlets southeast to Soquel Creek through an 18" RCP pipe. |
| C | Basin is covered with heavy brush and represents the bank of Soquel Creek, generally drains southeast to Soquel Creek |
| D | Basin drains southeast to a catch basin at the southeast corner of the parking lot on APN 030-151-22, from there outlets to creek |
| E | Basin drains generally overland to the southeast to a point at the southeast corner of APN 030-153-08 |

4.0 ANALYSIS & DISCUSSION

HYDROLOGY (OVERLAND FLOW):

Calculations for project post-development overland flows are included in the report. Overland flows were calculated for all sub-basins individually for the 10 and 25-year storm events. A table summarizing these calculations is shown in Section 5.0.

PERCOLATION POND DESIGN:

Calculations for the percolation pond design are included in the report. The site will be significantly reducing its imperviousness in the post development condition, however due to expected changes in the drainage code, redevelopment projects which replace more than 5000 SF of impervious are required to provide mitigation. The proposed percolation pond will provide stormwater detention storage and percolate water into the ground. The pond was sized to accommodate the required storage for the replaced surfaces. In addition to the percolation pond, several rain gardens, vegetated swales, and additional vegetation will assist in slowing and treating the stormwater before it reaches the percolation pond.

5.0 SUMMARY

The table below summarizes on-site flows and treatment unit calculations.

STORMWATER FLOW SUMMARY				
Sub Basin	Q₁₀ PRE (CFS)	Q₁₀ POST (CFS)	Q₂₅ PRE (CFS)	Q₂₅ POST (CFS)
A	1.68	1.68	2.21	2.21
B	1.66	1.11	2.19	1.46
C	0.14	0.14	0.18	0.18
D	1.57	1.57	2.07	2.07
E	0.73	0.73	0.96	0.96

TABLE KEY

Q10pre = Post Development Flow for a 10-Year Storm Event.

Q25pre = Post Development Flow for a 25-Year Storm Event.

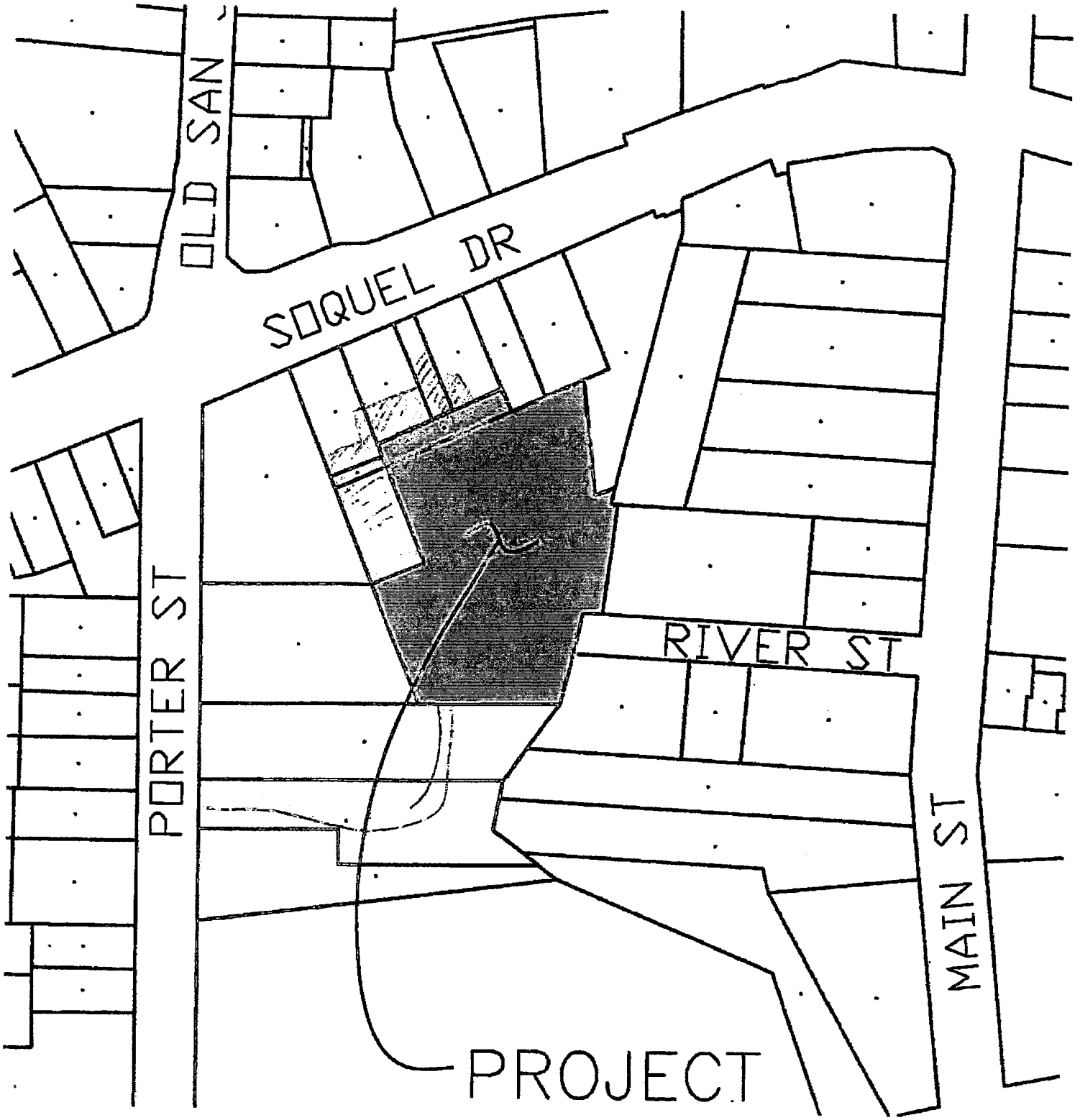
Q10post = Post Development Flow for a 10-Year Storm Event.

Q25post = Post Development Flow for a 25-Year Storm Event.

6.0 CONCLUSIONS

Overall, the project does not propose significant changes to any of the site drainage areas, the only area which is significantly affected is Area B (main park site - APN 030-153-24). For this parcel, general routing & collection remain the same, except impervious areas are reduced and several mitigation measures are employed. Included among mitigation measures for Area B are rain gardens, vegetated swales, and a percolation pond. All of these measures work in conjunction and should significantly improve the site water quality and increase stormwater residence time on-site.

It is our opinion that the proposed project improvements are in conformance with County Drainage Standards and will not cause any adverse downstream impacts.



Project Vicinity Map
NTS



**HEART OF SOQUEL
LINEAR PARK PROJECT
EXISTING DRAINAGE BASINS**

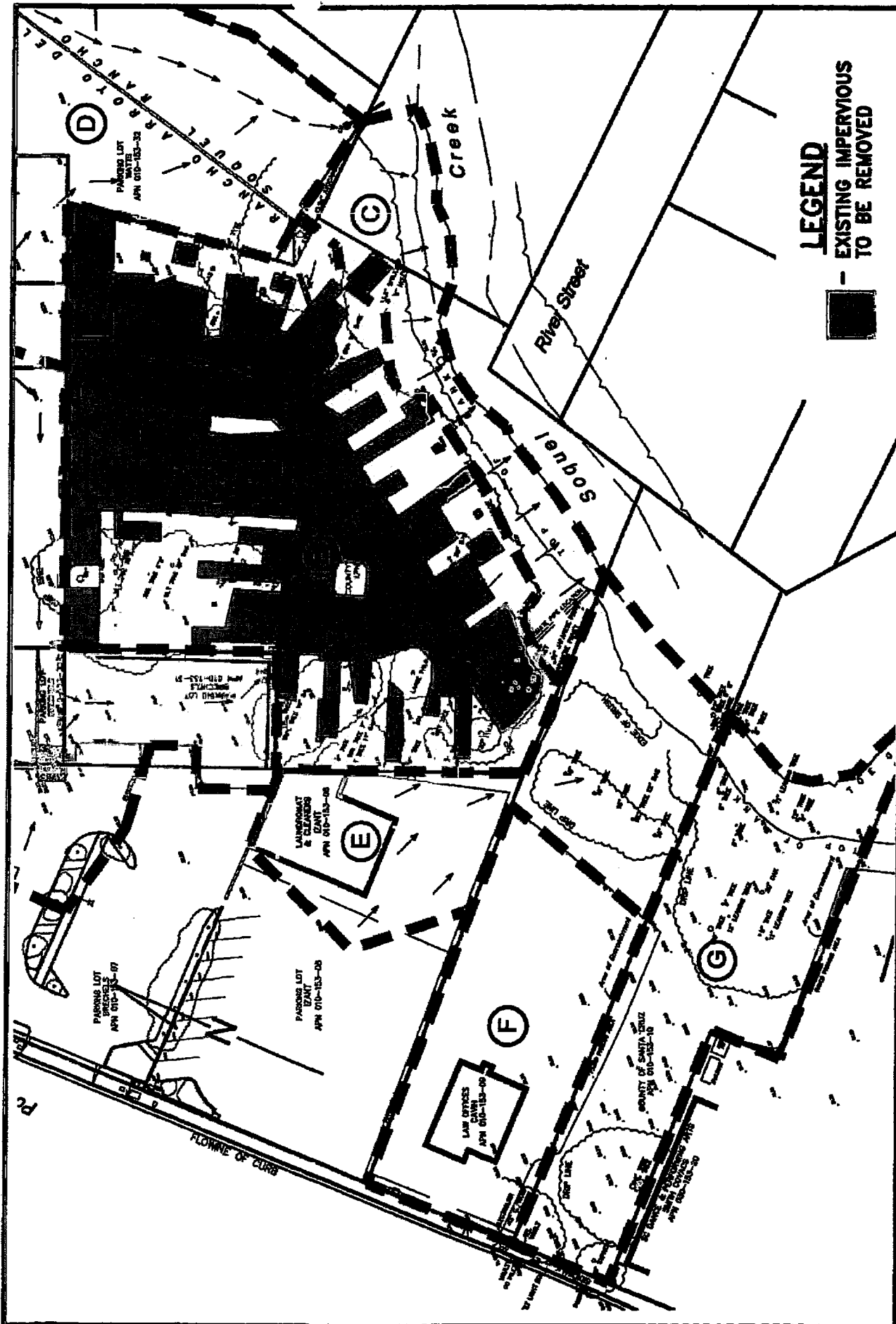
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CHECKED: JSL	JOB NO: 88217	

ATTACHMENT



**HEART OF SOQUEL
LINEAR PARK PROJECT
EXISTING DRAINAGE AERIAL OVERLAY**

DESIGN: CRC	DATE: 6/30/11	SHEET
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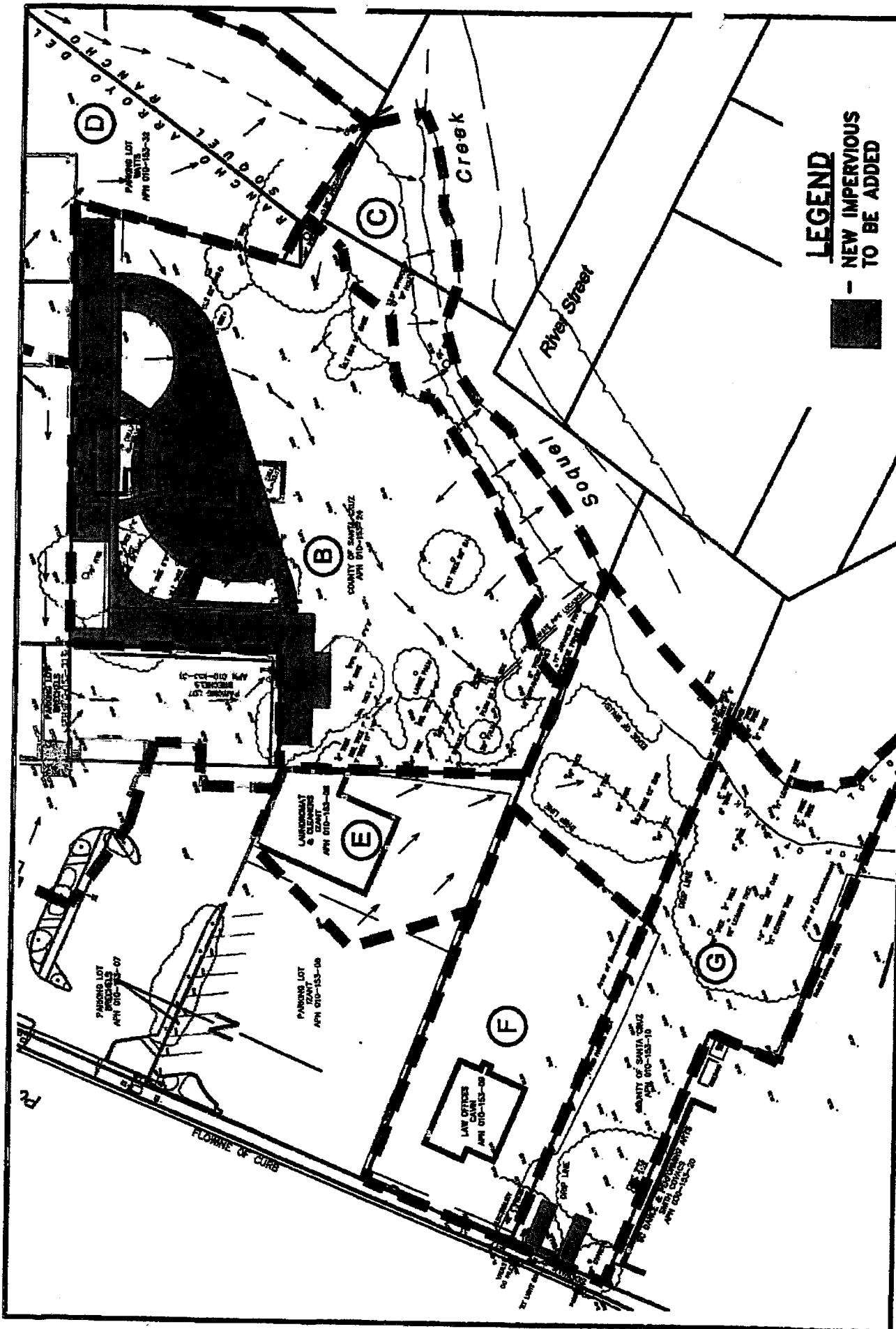


LEGEND

— EXISTING IMPERVIOUS TO BE REMOVED

**HEART OF SOQUEL
LINEAR PARK PROJECT**
EXISTING IMPERVIOUS TO BE REMOVED

DESIGN: CRC	DATE: 6/30/11	SHEET
DRAFTING: CRC	SCALE: 1"=60'	7
CHECKED: JSL	JOB NO: 88217	



HEART OF SOQUEL LINEAR PARK PROJECT PROPOSED IMPERVIOUS SURFACES	DESIGN: CRC	DATE: 6/30/11	SHEET 8
	DRAFTING: CRC	SCALE: 1"=60'	
	CHECKED: JSL	JOB NO: 88217	

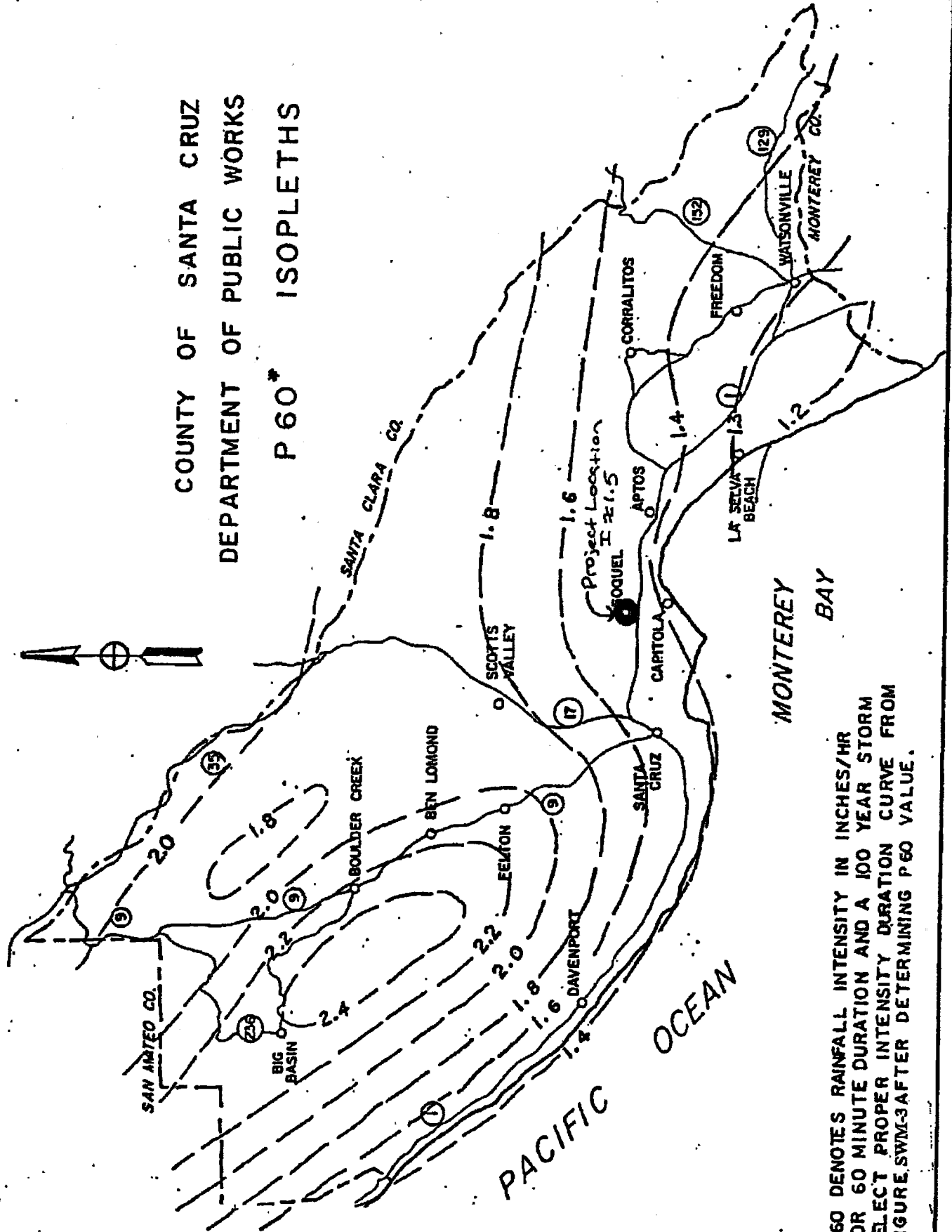
<u>TYPE OF AREA</u>	<u>10- YEAR RUNOFF COEFFICIENTS</u>
Rural, park, forested, agricultural	0.10 - 0.30
Low residential (Single family dwellings)	0.45 - 0.60
High residential (Multiple family dwellings)	0.65 - 0.75
Business and commercial	0.80
Industrial	0.70
Impervious	0.90

REQUIRED ANTECEDENT MOISTURE FACTORS (Ca) FOR THE RATIONAL METHOD*	
Recurrence Interval (Years)	Ca
2 to 10	1.0
25	1.1
50	1.2
100	1.25

Note: Application of antecedent moisture factors (Ca) should not result in an adjusted runoff coefficient (C) exceeding a value of 1.00

*APWA Publication "Practices in Detention of Stormwater Runoff"

COUNTY OF SANTA CRUZ
 DEPARTMENT OF PUBLIC WORKS
 P 60* ISOPLETHS



*P60 DENOTES RAINFALL INTENSITY IN INCHES/HR FOR 60 MINUTE DURATION AND A 100 YEAR STORM SELECT PROPER INTENSITY DURATION CURVE FROM FIGURE SWM-3 AFTER DETERMINING P60 VALUE.

DRAINAGE CALCULATIONS FOR :
HEART OF SOQUEL:
LINEAR PARK PROJECT
COUNTY OF SANTA CRUZ PUBLIC WORKS - REDEVELOPMENT DIVISION
RDA PROJECT NO: 88217
June 30, 2011

Project Drainage Basins - Existing Flow Rate Calculations for 10 Year Event

DRAINAGE AREAS AND RATIONAL COEFFICIENTS					
Sub-Basin	Total Area (SF)	Existing C	Added Impervious (SF)	Area (AC)	Avg C
A	38385	0.9	0	0.88	0.90
B	42840	0.8	0	0.98	0.80
C	9590	0.3	0	0.22	0.30
D	35990	0.9	0	0.83	0.90
E	16680	0.9	0	0.38	0.80
F	13815	0.9	0	0.32	0.90
G	17820	0.9	0	0.41	0.90

Is and Ca Modification factors		
Return Period	Is	Ca
2	0.64	1.00
5	0.85	1.00
10	1.00	1.00
15	1.09	1.00
25	1.20	1.10
50	1.35	1.20
100	1.50	1.25

Basis of Calculation

$$I = ((4.29112)^{(1.1952^{P60}})) / (T_c^{((0.60924)^{(0.78522^{P60}})}) \cdot I_a$$

$$Q = C \cdot C_a \cdot I \cdot A$$

Intensity for Storm

Return Period =	10
P60 Isoleth =	1.5
Is =	1
Ca =	1

Years

(Based on Location - See County P60 Isoleths Map)

(Based on Return Period - See Above)

(Based on Return Period - See Above)

RUNOFF FLOW CALCULATIONS					
Sub-Basin	Area (ac)	C	Tc (min)	I (In/hr)	Q (cfs)
A	0.88	0.90	10	2.113	1.88
B	0.98	0.80	10	2.113	1.86
C	0.22	0.30	10	2.113	0.14
D	0.83	0.90	10	2.113	1.57
E	0.38	0.80	10	2.113	0.73

DRAINAGE CALCULATIONS FOR :
HEART OF SOQUEL:
LINEAR PARK PROJECT
COUNTY OF SANTA CRUZ PUBLIC WORKS - REDEVELOPMENT DIVISION
RDA PROJECT NO: 88217
June 30, 2011

Project Drainage Basins - Post-Development Flow Rate Calculations for 10 Year Event

DRAINAGE AREAS AND RATIONAL COEFFICIENTS					
Sub-Basin	Total Area (SF)	Existing C	Added Impervious (SF)	Area (AC)	Avg C
A	38385	0.9	0	0.88	0.90
B	17820	0.3	16695	0.88	0.53
C	9590	0.3	0	0.22	0.30
D	35990	0.9	0	0.83	0.90
E	16680	0.9	0	0.38	0.90
F	13815	0.9	0	0.32	0.90
G	17820	0.9	0	0.41	0.90

I _a and C _a Modification factors		
Return Period	I _a	C _a
2	0.64	1.00
5	0.85	1.00
10	1.00	1.00
15	1.09	1.00
25	1.20	1.10
50	1.35	1.20
100	1.50	1.25

Basis of Calculation

$$I = ((4.29112)^{(1.1952^{P60}})) / (I_c^{((0.60924)^{(0.78522^{P60}})}) * I_a$$

$$Q = C * C_a * I * A$$

Intensity for Storm

Return Period =	10
P60 Isoleth =	1.5
I _a =	1
C _a =	1

Years

(Based on Location - See County P60 Isoleths Map)

(Based on Return Period - See Above)

(Based on Return Period - See Above)

RUNOFF FLOW CALCULATIONS					
Sub-Basin	Area (ac)	C	T _c (min)	I (in/hr)	Q (cfs)
A	0.88	0.90	10	2.113	1.68
B	0.88	0.83	10	2.143	1.11
C	0.22	0.30	10	2.113	0.14
D	0.83	0.90	10	2.113	1.57
E	0.38	0.80	10	2.113	0.73

DRAINAGE CALCULATIONS FOR :
HEART OF SOQUEL:
LINEAR PARK PROJECT
COUNTY OF SANTA CRUZ PUBLIC WORKS - REDEVELOPMENT DIVISION
RDA PROJECT NO: 88217
June 30, 2011

Project Drainage Basins - Existing Flow Rate Calculations for 25 Year Event

DRAINAGE AREAS AND RATIONAL COEFFICIENTS					
Sub-Basin	Total Area (SF)	Existing C	Added Impervious (SF)	Area (AC)	Avg C
A	38385	0.9	0	0.88	0.90
B	42840	0.8	0	0.98	0.80
C	9590	0.3	0	0.22	0.30
D	35990	0.9	0	0.83	0.90
E	16680	0.9	0	0.38	0.90
F	13815	0.9	0	0.32	0.80
G	17820	0.9	0	0.41	0.90

I _a and C _a Modification factors		
Return Period	I _a	C _a
2	0.64	1.00
5	0.85	1.00
10	1.00	1.00
15	1.09	1.00
25	1.20	1.10
50	1.35	1.20
100	1.50	1.25

Basis of Calculation

$$I = ((4.29112)^{(1.1952^{P^{60}})}) / (t_c^{0.7} (0.60924)^{(0.78522^{P^{60}})}) * I_a$$

$$Q = C * C_a * I * A$$

Intensity for Storm

Return Period =	25
P60 Isoleth =	1.5
I _a =	1.2
C _a =	1.1

Years

(Based on Location - See County P60 Isoleths Map)

(Based on Return Period - See Above)

(Based on Return Period - See Above)

RUNOFF FLOW CALCULATIONS						
Sub-Basin	Area (ac)	C	T _c (min)	I (In/hr)	Q (cfs)	
A	0.88	0.90	10	2.535	2.21	
B	0.98	0.80	10	2.535	2.19	
C	0.22	0.30	10	2.535	0.18	
D	0.83	0.90	10	2.535	2.07	
E	0.38	0.90	10	2.535	0.96	

DRAINAGE CALCULATIONS FOR :
HEART OF SOQUEL:
LINEAR PARK PROJECT
COUNTY OF SANTA CRUZ PUBLIC WORKS - REDEVELOPMENT DIVISION
RDA PROJECT NO: 88217
June 30, 2011

Project Drainage Basins - Post-Development Flow Rate Calculations for 25 Year Event

DRAINAGE AREAS AND RATIONAL COEFFICIENTS					
Sub-Basin	Total Area (SF)	Existing C	Added Impervious (SF)	Area (AC)	Avg C
A	38385	0.9	0	0.88	0.90
B	42840	0.2	16695	0.98	0.53
C	9590	0.3	0	0.22	0.30
D	35990	0.9	0	0.83	0.90
E	16680	0.9	0	0.38	0.90
F	13815	0.9	0	0.32	0.90
G	17820	0.9	0	0.41	0.90

Ia and Ca Modification factors		
Return Period	I _a	Ca
2	0.64	1.00
5	0.85	1.00
10	1.00	1.00
15	1.09	1.00
25	1.20	1.10
50	1.35	1.20
100	1.50	1.25

Basis of Calculation

$$I = ((4.29112) * (1.1952^{P60}) / (L_c * ((0.60924) * (0.78522^{P60}))) * I_a$$

$$Q = C * C_a * I * A$$

Intensity for Storm

Return Period =	25
P60 isopleth =	1.5
I _a =	1.2
C _a =	1.1

Years

(Based on Location - See County P60 isopleths Map)
 (Based on Return Period - See Above)
 (Based on Return Period - See Above)

RUNOFF FLOW CALCULATIONS					
Sub-Basin	Area (ac)	C	T _c (min)	I (in/hr)	Q (cfs)
A	0.88	0.90	10	2.535	2.21
B	0.98	0.53	10	2.535	1.46
C	0.22	0.30	10	2.535	0.18
D	0.83	0.90	10	2.535	2.07
E	0.38	0.90	10	2.535	0.98

DRAINAGE CALCULATIONS FOR :
PROJECT NAME
COUNTY OF SANTA CRUZ PUBLIC WORKS - REDEVELOPMENT DIVISION
RDA PROJECT NO: 88217
June 30, 2011

Pipe Size Calculations

Basis of Calculation

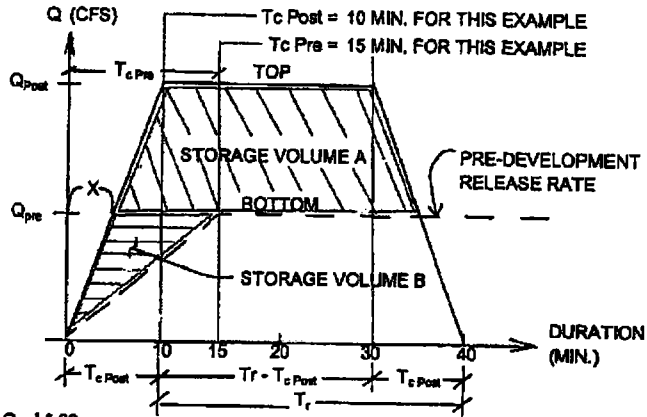
- r = Radius (ft)
- n = Manning's Roughness Coefficient
(Based on Pipe Material)
- A = Pipe Area (sf) = πr^2
- P = Wetted Perimeter (ft) = $2\pi r$
- R = Hydraulic Radius (ft) = A/P
- S = Slope of Pipe (ft/ft) or [% / 100]
- Q = Pipe Maximum Flow (cfs) = $(1.49/n) \cdot (A \cdot R^{2/3} \cdot S^{1/2})$

Common Manning's n Values	
HDPE	n= 0.010
RCP	n= 0.013
PVC	n= 0.009
DIP	n= 0.012
CIP	n= 0.013
ACP	n= 0.011
CMP	n= 0.024

Pipe Size Calculations						
Pipe Diameter (inches)	n (unitless)	A (sf)	P (ft)	R ft	S (ft/ft)	Qcap (cfs)
8	0.009	0.35	2.09	0.17	0.0100	1.75
12	0.009	0.79	3.14	0.25	0.0100	5.15
18	0.009	1.77	4.71	0.38	0.0100	15.17

DRAINAGE CALCULATIONS FOR :
HEART OF SOQUEL:
LINEAR PARK PROJECT
COUNTY OF SANTA CRUZ PUBLIC WORKS
RDA PROJECT NO: 88217
June 30, 2011

STORAGE VOLUME EXAMPLE (FOR $T_c = 30$ MIN.)



Detention Calculations

Basis of Calculation

Based on County of Santa Cruz Draft Design Manual, Page 79
 Intensity = $((4.29112) * (1.1952^{-0.0175 * T_r}) / (L_c * ((0.60924) * (0.78522^{-0.0175 * T_r})))^{1.49}$

Pre & Post Development Runoff = $C * C_p * I * A$

T_c = Time of Concentration (min, subscript denotes pre or post)

T_r = Time of Storm Duration (min)

$X = ((Q_{pre}) / (Q_{post} \text{ at Duration Time})) * (T_{c \text{ post}})$

Top = $(T_r - T_{c \text{ post}})$

Bottom = $(T_r + T_{c \text{ post}}) - 2 * X$

Storage Volume A = $((\text{Bottom} + \text{Top}) / 2) * [Q_{post} \text{ at Duration Time} - Q_{pre}] * 60$

Storage Volume B = $((1/2) * Q_{pre} * (T_{c \text{ Pre}} - X)) * 60$

Total Storage = Storage Volume A + Storage Volume B

Required Storage = Maximum (Peak) Total Storage achieved through iterations of T_r

Weighted C Calculations for Detention (Increase in Impervious & Semi-Permeous only)

Area Description	Area (ft ²)	Area (AC)	C	A*C
Increase in Semi-impervious	0	0.00	0.45	0
Increase in Impervious	16965	0.39	0.90	0.3505165

Total: 0.39 0.35

Weighted Post Development C = 0.90

Return Period	I_p
2	0.64
5	0.85
10	1.00
15	1.09
25	1.20
50	1.35
100	1.50

P80 Isopeith = 1.5 (Based on Location - See County Map)
 Detention Return Period = 10 Years
 Detention Storm I_p = 1 (Based on Return Period)
 Detention Storm C_p = 1 (Based on Return Period)
 Pre Development C = 0.30
 Pre Development T_c = 15 Minutes
 Post Development T_c = 10 Minutes
 Pre Development Runoff = 0.19 CFS (Based on 10 Year Storm & 15 minute time of concentration)

Required Detention Volume Calculations for a 10 Year Storm with a 10 Year Predevelopment Release Rate								
T_r (min)	Intensity at Duration (in/hr)	Post-Development Runoff at Duration (cfs)	X	Top	Bottom	Storage Volume A (cf)	Storage Volume B (cf)	Total Storage (cf)
10	2.113	0.74	2.62	0.00	14.75	242	72	314
15	1.779	0.62	3.11	5.00	18.77	306	69	375
20	1.675	0.55	3.52	10.00	22.96	354	87	421
30	1.326	0.48	4.18	20.00	31.64	419	63	482
40	1.174	0.41	4.72	30.00	40.66	460	80	520
50	1.068	0.37	5.19	40.00	49.62	484	57	541
60	0.988	0.35	5.61	50.00	58.79	497	55	552
70	0.926	0.32	5.98	60.00	68.03	501	53	553
80	0.875	0.31	6.33	70.00	77.34	497	50	548
90	0.832	0.29	6.66	80.00	86.66	488	49	536
100	0.796	0.28	6.96	90.00	96.06	473	47	520
110	0.764	0.27	7.25	100.00	105.50	455	45	500
120	0.737	0.26	7.52	110.00	114.96	432	44	476

Required Storage = 553

Required Storage With 1.25 Safety Factor = 690

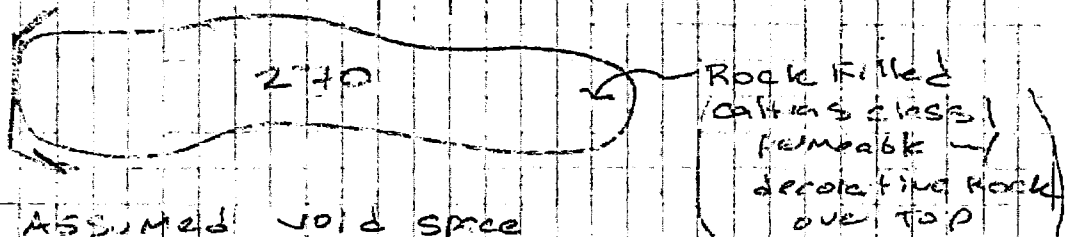
*Note - Impervious surfaces decrease in post development

Percolation Pond Design

⇒ For Redevelopment over 5000 SF, mitigation required for replacement of riparian areas.

⇒ Per calculation required detention volume is 690 cubic feet.

⇒ Pond surface Area is 270 SF



⇒ Assumed void space = 0.35

$690 / 0.35 = 1970$ CF actually needed

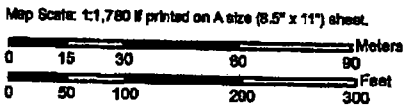
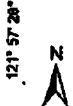
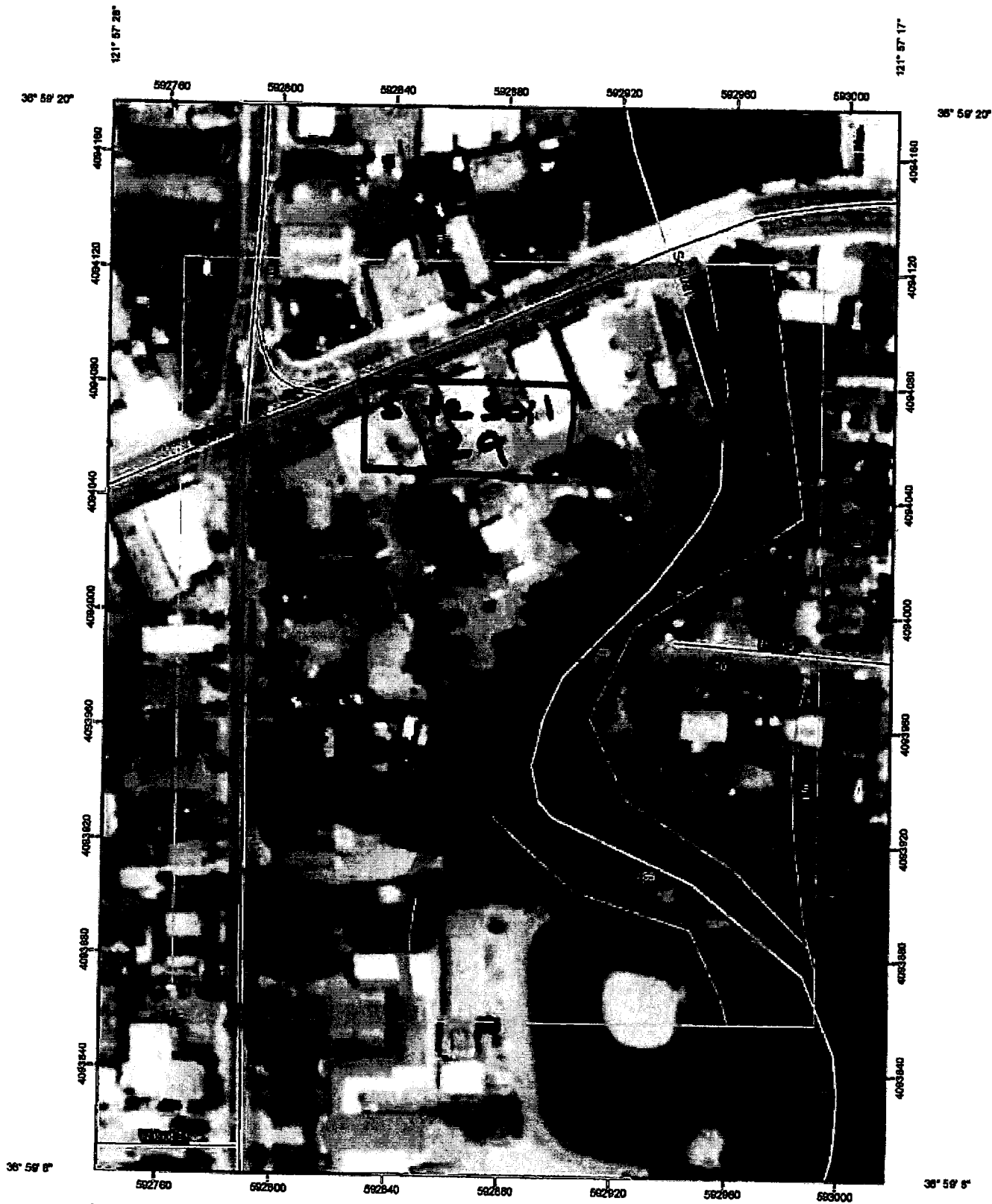
⇒ Required depth

$\frac{1970 \text{ CF}}{270 \text{ SF}} = 7.3'$ Required depth

Specify 8' depth

COUNTY OF SANTA CRUZ
DEPARTMENT OF PUBLIC WORKS

Soil Map—Santa Cruz County, California



USDA Natural Resources Conservation Service

Web Soil Survey
National Cooperative Soil Survey

8/23/2011
Page 1 of 3

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SOIL SURVEY

TABLE 12.--PHYSICAL AND CHEMICAL PROPERTIES OF SOILS--Continued

Soil name and map symbol	Depth in	Permeability in/hr	Available water capacity in/in	Soil reaction pH	Shrink-swell potential	Erosion Factors	
						K	T
120, 121 Conejo	0-7	0.6-2.0	0.15-0.17	6.6-8.4	Moderate	0.32	5
	7-65	0.2-0.6	0.14-0.18	7.4-8.4	Moderate	0.32	
122 Conejo	0-7	0.2-0.6	0.17-0.19	6.6-8.4	Moderate	0.28	5
	7-65	0.2-0.6	0.14-0.18	7.4-8.4	Moderate	0.32	
123 Cropley	0-28	0.06-0.2	0.13-0.17	6.1-8.4	High	0.24	5
	28-45	0.06-0.2	0.13-0.17	6.6-8.4	High	0.24	
	45-60	0.06-0.2	0.13-0.17	6.6-8.4	High	0.24	
124, 125 Danville	0-17	0.2-0.6	0.14-0.17	6.1-7.3	Moderate	0.28	5
	17-29	0.06-0.2	0.12-0.16	6.1-7.3	High	0.24	
	29-65	0.2-0.6	0.12-0.17	6.1-7.3	Moderate	0.15	
126, 127 Diablo	0-30	0.06-0.2	0.14-0.19	6.1-8.4	High	0.24	3
	30-59	0.06-0.2	0.14-0.19	7.9-8.4	High	0.24	
	59						
128. Dune land.							
129, 130, 131 Elder	0-23	0.6-2.0	0.10-0.15	5.6-7.3	Low	0.32	5
	23-60	0.6-2.0	0.10-0.15	5.6-7.8	Low	0.32	
132, 133, 134, 135 Elkhorn	0-21	2.0-6.0	0.10-0.14	5.6-7.3	Low	0.32	5
	21-61	0.2-0.6	0.16-0.18	6.1-7.3	Moderate	0.28	
136: Elkhorn	0-21	2.0-6.0	0.10-0.14	5.6-7.3	Low	0.32	5
	21-61	0.2-0.6	0.16-0.18	6.1-7.3	Moderate	0.28	
Pfeiffer	0-24	2.0-6.0	0.07-0.10	6.1-7.3	Low	0.17	3
	24-66 66	2.0-6.0	0.07-0.10	6.1-7.3	Low	0.20	
137 Fagan	0-32	0.2-0.6	0.14-0.20	5.6-7.3	Moderate	0.32	3
	32-60	0.06-0.2	0.14-0.20	5.6-7.3	High	0.28	
138 Felton	0-11	2.0-6.0	0.11-0.13	5.1-6.5	Low	0.17	2
	11-43	0.2-0.6	0.15-0.19	5.1-6.5	Moderate	0.28	
	43-63	0.6-2.0	0.12-0.14	5.1-6.0	Low	0.37	
	63						
139: Fluvaquentic Baploxerolls. Aquic Xerofluvents.							
140, 141 Hecker	0-9	2.0-6.0	0.06-0.09	5.6-7.3	Low	0.17	3
	9-23	0.6-2.0	0.05-0.09	5.6-6.5	Low	0.15	
	23-41 41	0.6-2.0	0.05-0.09	5.6-6.5	Low	0.10	
142, 143, 144: Lompoc	0-5	2.0-6.0	0.13-0.16	6.1-7.3	Low	0.28	2
	5-37	0.6-2.0	0.15-0.18	4.5-6.0	Moderate	0.17	
	37						
Felton	0-11	2.0-6.0	0.11-0.13	5.1-6.5	Low	0.17	2
	11-43	0.2-0.6	0.15-0.19	5.1-6.5	Moderate	0.28	
	43-63	0.6-2.0	0.12-0.14	5.1-6.0	Low	0.37	
	63						

See footnote at end of table.

HEART OF SOQUEL - RDA PARCELS
APN 030-153-24 and 030-153-10
SOQUEL, CA

Biological Report



Biotic Resources Group

Biotic Assessments ♦ Resource Management ♦ Permitting

Biotic Resources Group

Biotic Assessments ♦ Resource Management ♦ Permitting

HEART OF SOQUEL - RDA PARCELS APN 030-153-24 and 030-153-10 SOQUEL, CA

Biological Report

Prepared for

Santa Cruz County Redevelopment Agency
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701 Ocean Street, Room 510
Santa Cruz, CA 95060

Prepared by:

Biotic Resources Group
Kathleen Lyons, Plant Ecologist

And

Dana Bland & Associates
Dana Bland, Wildlife Biologist

June 27, 2011

1.0 INTRODUCTION

The Biotic Resources Group, with Dana Bland & Associates, documented and evaluated the biotic resources of two parcels located in Soquel Village. The parcels are owned by the Santa Cruz County Redevelopment Agency. Both parcels are part of a proposed Heart of Soquel Creek Linear Park project.

Specific tasks conducted for this study include:

- Characterize and map the major plant communities within the project area, including the extent of riparian vegetation.
- Identify sensitive biotic resources; including habitats, plant or wildlife species of concern, including the extent of waters of the U.S., waters of the state, and County-regulated habitats.
- Identify the species and diameter of all trees in the project area and their rooted location.

1.1 PROPOSED PROJECT

The County of Santa Cruz Redevelopment Agency (RDA) is proposing a linear park along a portion of Soquel Creek in the town of Soquel, an unincorporated area of Santa Cruz County. The County owns two parcels that border Soquel Creek. The northernmost parcel (APN 030-153-024) is located south of the Soquel U.S. Post Office and was formerly known as the Heart of Soquel Trailer Park. The second parcel (APN 030-153-10) fronts Porter Street and is located north of the Santa Cruz Dance Company (formerly the Soquel Grange). The location of these two properties is depicted on Figure 1.

The County RDA is currently deigning the linear park project; however, it is anticipated that the design will prioritize land uses that address improved vehicular and pedestrian circulation to service the community and businesses along Soquel Drive and Porter Street, a consolidated parking structure, consolidated business waste infrastructure, park programs and uses, open space and pathways, and riparian habitat restoration.

The northernmost parcel formerly housed the Heart of Soquel Trailer Park. The parcel currently supports three residential structures, paved and graveled areas, old trailer pads with utility hookups, non-native landscaping, as well as a band of riparian vegetation along Soquel Creek. The southern parcel is undeveloped. The property is co-dominated by ruderal (non-native) grassland and native riparian woodland; the riparian woodland occupies the eastern portion of the parcel abutting Soquel Creek. Non-native plants are prevalent in the woodland understory.

1.2 INTENDED USE OF THIS REPORT

The findings presented in this biological report are intended for the sole use of the Santa Cruz County Redevelopment Agency in evaluating the proposed project. The findings presented by the Biotic Resources Group in this report are for information purposes only; they are not intended to represent the interpretation of any State, Federal or County law or ordinance pertaining to permitting actions within sensitive habitat or endangered species. The interpretation of such laws and/or ordinances is the responsibility of the applicable governing body.

2.0 EXISTING BIOTIC RESOURCES

2.1 METHODOLOGY

The biotic resources of the two County RDA-owned parcels were assessed through literature review and field observations. Site observations were made in January, February, and April 2011 by Kathleen Lyons (plant ecologist) and Dana Bland (wildlife biologist). Vegetation mapping of the two parcels was conducted from review of aerial photos, a topographic map, and field observations. The major plant communities within the project area, based on the classification system developed by *California Terrestrial Natural Communities* (California Department of Fish and Game, 2003 and 2007) and *A Manual of California Vegetation* (Sawyer and Keeler-Wolf 1995) and as amended to reflect site conditions, were identified during the field surveys. Modifications to the classification system's nomenclature were made, as necessary, to accurately describe the site's resources. The plant communities were mapped onto the survey topographic map (Figure 2). The *Jepson Manual* (Hickman, 1993) and *An Annotated Checklist of the Vascular Plants of Santa Cruz County, California* (CNPS, 2005) were the principal taxonomic references used for the botanical work. A list of observed vascular plant species was prepared.

To assess the potential occurrence of special status biotic resources, two electronic databases were accessed to determine recorded occurrences of sensitive plant communities and sensitive species. Information was obtained from the California Native Plant Society's (CNPS) Electronic Inventory (2011), and California Department of Fish & Game (CDFG) RareFind database (CDFG, 2011) for the Soquel USGS quadrangle and surrounding quadrangles. In addition, previous biological reports or correspondence pertaining to the project vicinity reviewed (e.g., Soquel Creek Watershed Assessment and Management Plan [Santa Cruz County Resource Conservation District, 2003]).

The extent of riparian, creek, wetland, or open water resources was determined by examining the parcels for evidence of native riparian plant species, wetland species, and field observations of the Ordinary High Water Mark, bankfull flow line, and top of bank. The location of the bankfull flow line was flagged in the field; these points were surveyed by Edmundson & Associates Land Surveying. A determination of the extent of waters and riparian vegetation is presented in this report. A tree surveys was also conducted. Trees on both parcels were identified as to species and their rooted location. Tree diameter was measured by Edmundson & Associates Land Surveying and field checked by Biotic Resources Group.

This report summarizes the findings of the biotic assessment for the two County RDA-owned parcels.

2.2 ENVIRONMENTAL SETTING

2.2.1 Geographic Setting

The two parcels are located within the Arroyo del Rodeo land grant in the northeast portion of Township 11S, Range 1W, Mt. Diablo Meridian, within the unincorporated town of Soquel, Soquel USGS quadrangle (Figure 1). Only a small corner of the northern parcel is located in the old Soquel Rancho land grant.

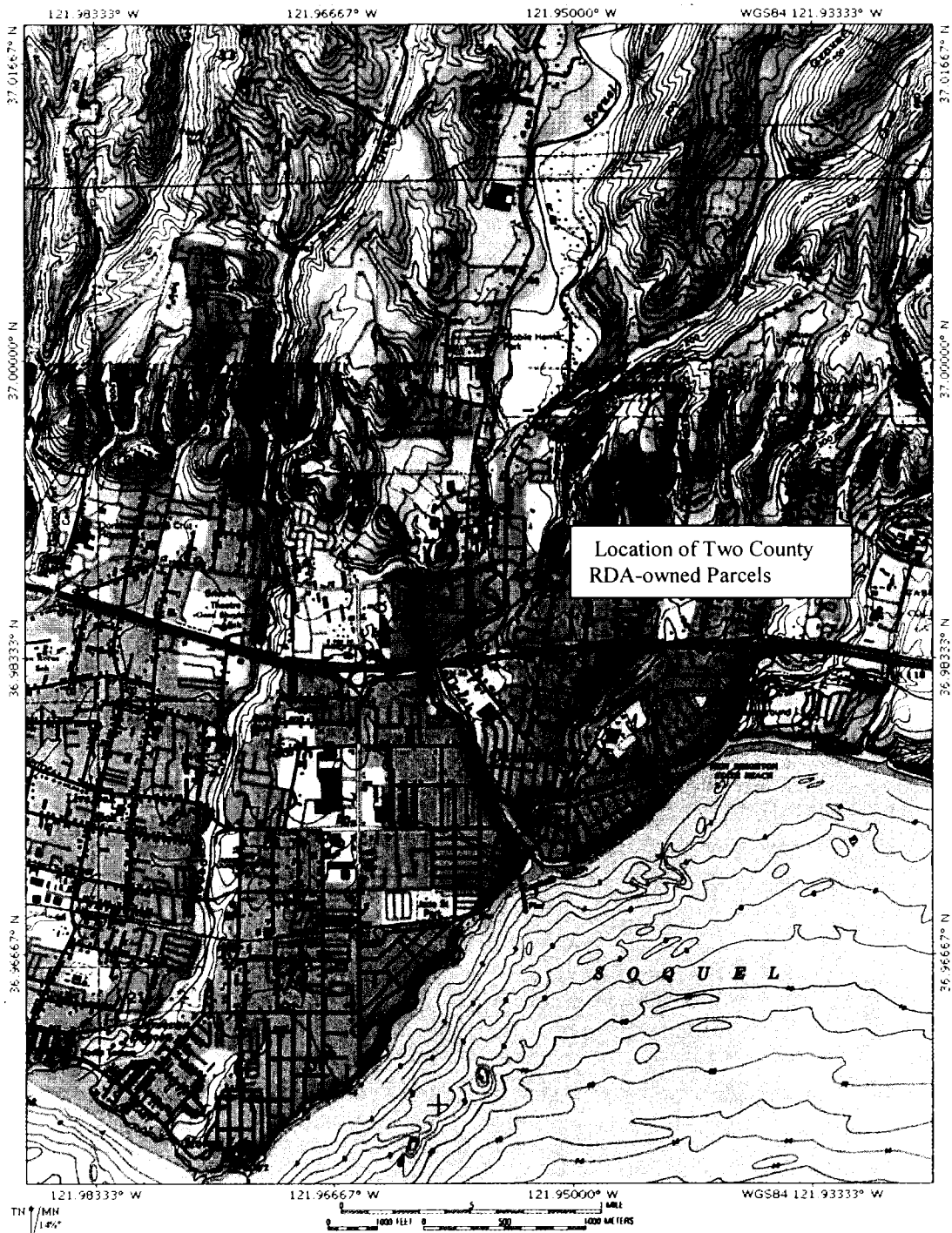


Figure 1. Location of Two County RDA-owned Parcels on USGS Topographic Map (Soquel Quadrangle)

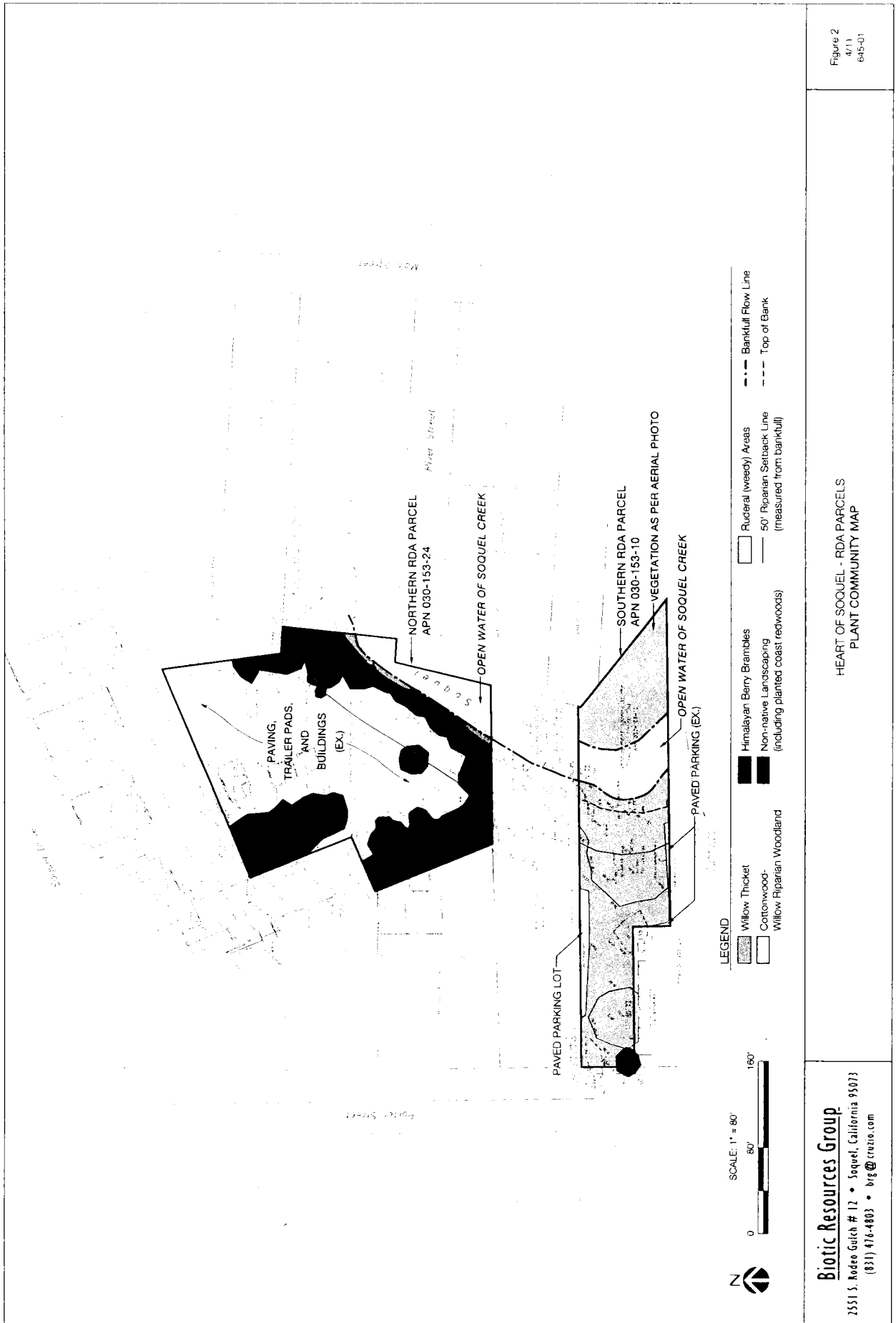
The two parcels abut Soquel Creek. Soquel Creek is a primary waterway within Santa Cruz County and is identified as a perennial blue-line stream on the Soquel USGS map. The elevations on the two parcels range from approximately 22 feet (along the toe of Soquel Creek) to 32-33 feet (along Porter Street and at residences on the northern parcel). The project area has soil mapped as Elder sandy loam, 0-2% slopes (129) and Elder sandy loam, 2-9 percent slopes (130) (USDA/NRCS, 1974). The creek channel is mapped as Water (w). The two parcels are located outside the County's Coastal Zone.

The two parcels collectively support five plant community types. The most prevalent community on the northern parcel is non-native landscaping. Amid the landscaping are areas that support weedy herbaceous plants, such as areas in and around old concrete trailer pads. Himalayan berry brambles comprised of invasive, non-native blackberry and other vines occupies most of the northern parcel's creek bank. Both parcels support riparian woodland; the northern parcel supports a narrow band of arroyo willow thicket along the toe of Soquel Creek. On the southern parcel cottonwood-willow dominated riparian woodland encompasses the eastern area (along the creek) and an area near Porter Street. A portion of the southern parcel supports ruderal (non-native) grassland. The distribution of plant community types on the two parcels is depicted on Figure 2. Each vegetation type, its California vegetation code, and state ranking (rarity) are listed in Table 1.

Table 1. Vegetation Types within the Two County-owned Parcels, Soquel, Santa Cruz County

CaCode ¹	Vegetation Type	Plant Association	State Ranking ²
61.120.10	Cottonwood-Willow Riparian Woodland	Black Cottonwood – Arroyo Willow/ Himalaya berry - Cape ivy	S3
61.201.03	Willow Thicket	Arroyo Willow/Himalayan Berry	S4
63.901.11	Himalayan Berry Brambles	Himalaya Berry/Cape Ivy – English ivy/Periwinkle	-
-	Non-native Landscaping	Coast Redwood/Flowering Plum/Fan Palm/Pittosporum/Photinia- Herbaceous Weeds	-
42.026.22	Ruderal Grassland/Annual Brome Grassland	Ripgut Brome – Wild Oat – Wild Radish	-

¹ – California vegetation code as per CDFG/CNDDDB (2010); ² - Vegetation types are ranked between S1 and S5. For vegetation types with ranks of S1-S3, all associations within the type are considered to be highly imperiled.



2.2.2 Vegetation and Wildlife Habitats

Riparian Woodland

Arroyo Willow Thicket

The northern parcel supports riparian woodland along Soquel Creek. The woodland is limited to a band of young arroyo willows (*Salix lasiolepis*) that are growing along the toe and lower slope of Soquel Creek. This band of willows is identified as a willow thicket. This parcel has a steep embankment between the creek channel and the top of bank. Coupled with a dense growth of invasive, non-native plant species on the embankment (see additional discussion under Himalayan Berry Brambles) there is limited opportunity for the natural recruitment of native riparian tree species along the creek bank. Figure 2 depicts to location of the willow thicket riparian vegetation currently growing on the parcel.

Cottonwood – Willow Riparian Woodland

The easternmost portion of the southern property as well as an area near Porter Street supports cottonwood-willow riparian woodland. This woodland is co-dominated by black cottonwood (*Populus trichocarpa*) and willows (*Salix spp.*) A few red alders (*Alnus rubra*) also grow along the creek on the southern parcel. The woodland supports mature trees along the toe and creek bank of Soquel Creek as well as level, top-of-bank areas reaching from the creek to Porter Street. Other native plant species within the woodland is limited; California blackberry (*Rubus ursinus*) was observed amid the trees. Non-native species are prevalent in the understory and include Himalayan berry (*Rubus procerus/ameniacus*), Cape ivy (*Delairea odorata*), and nasturtium (*Tropaeolum majus*). Figure 3 depicts the character of the cottonwood-willow riparian woodland on the southern parcel.

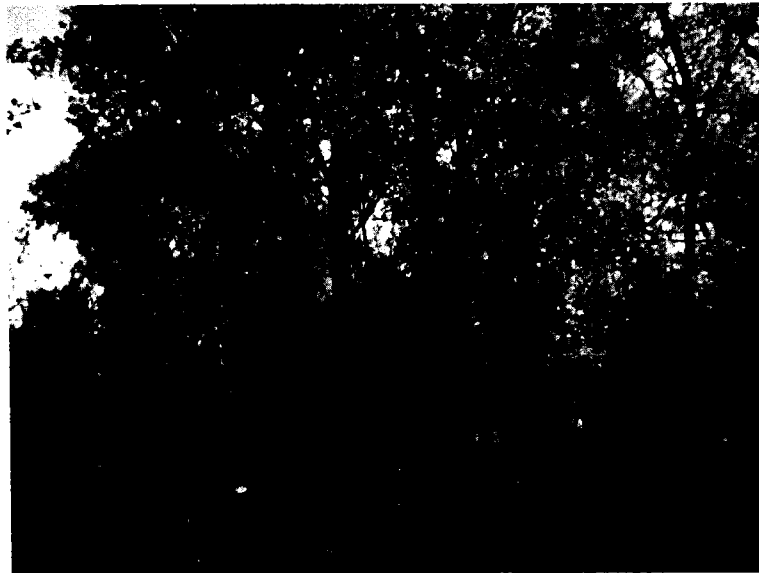


Figure 3. View of Cottonwood – Willow Riparian Woodland on Southern Parcel, April 2011

The riparian habitat is one of the highest value habitats for wildlife species diversity and abundance in California. Factors which contribute to the high wildlife value include the presence of surface water, the variety of niches provided by the high structural complexity of the habitat, and the abundance of plant growth. Riparian habitat along the project site may be used by a diversity of wildlife species for food, water, escape cover, nesting, migration and dispersal corridors, and thermal cover. The value of riparian areas to wildlife is underscored by the limited amount of remaining habitat which has not been disturbed or substantially altered by flood control projects, agriculture, and urbanization.

Common wildlife species that are expected to inhabit the riparian habitat include Pacific chorus frog (*Pseudacris regilla*), western aquatic garter snake (*Thamnophis couchii*), red-shouldered hawk (*Buteo lineatus*), belted kingfisher (*Ceryle alcyon*), black phoebe (*Sayornis nigricans*), Bewick's wren (*Thryomanes bewickii*), Swainson's thrush (*Caatharus ustulatus*), Wilson's warbler (*Wilsonia pusilla*), Black-headed grosbeak (*Pheucticus melanocephalus*), raccoon (*Procyon lotor*), and opossum (*Didelphis virginiana*).

Himalayan Berry Brambles

The creek bank on the northern parcel is dominated by a dense bramble of Himalayan berry, thornless berry (*Rubus sp.*), Cape ivy, periwinkle (*Vinca major*), and English ivy (*Hedera helix*). Interspersed amid this area are young non-native winged elms (*Ulmus alata*); these deciduous trees are native to the southern portion of the United States and are distinguished in the field by their corky, winged branchlets. A review of historic aerial photos (Google, 1993 to 2009.) as well as an inventory of trees on the parcel by the County (no date), found the parcel previously supported several mature winged elms on the creek bank and on/near the top-of bank. These trees died and 37 trees were removed. There are some young elm saplings growing amid the berry brambles. Figure 4 shows the character of the berry bramble on the northern parcel.



Figure 4. View of Non-native Himalayan Berry Bramble on Northern Parcel, April 2011

Use of the Himalayan berry brambles by wildlife is expected to be similar to that described above for the adjacent riparian habitat. Raccoons and birds may forage on the berries, and species such as striped skunk (*Mephitis mephitis*) and Norway rat (*Rattus norvegicus*) may make dens in the dense vegetative cover.

Ruderal Grassland

The southern parcel supports an open, grassy area due to some recent tree falls, limb breakage, and previous tree removal (by previous landowner). This grassy area supports non-native grasses and forbs, such as wild oat (*Avena sp.*), ripgut brome (*Bromus diandrus*), curly dock (*Rumex crispus*), and calla lily (*Zantedeschia europaea*). Figure 5 shows the character of the grassland on the southern parcel.

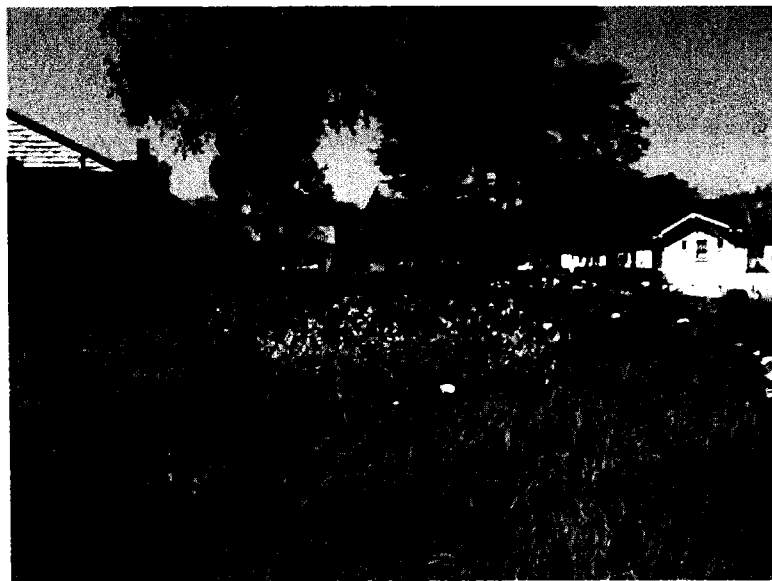


Figure 5. View of Ruderal Grassland on Southern Parcel, April 2011

The predominance of non-native plants in the ruderal grassland and the relatively small size of the habitat moderate its value to native wildlife species. Wildlife species that may occur in this grassland are those that are tolerant of the surrounding human uses as well as those able to adapt to foraging on the non-native plants. Common wildlife species that may occur in this grassland include western fence lizard (*Sceloporus occidentalis*), Anna's hummingbird (*Calypte anna*), American crow (*Corvus brachyrhynchos*), American robin (*Turdus migratorius*), white-crowned sparrow (*Zonotrichia leucophrys*), Brewer's blackbird (*Euphagus cyanocephallus*), American goldfinch (*Carduelis tristis*), house mouse (*Mus musculus*), and Botta's pocket gopher (*Thomomys bottae*).

Non-native Landscaping

The northern parcel is dominated by non-native landscaping. The landscaping, associated with the previous land uses on the parcel, is located from the top-of bank along Soquel Creek westward to the property line. The landscaping is comprised of a mosaic of trees, shrubs, and vines. Only one tree is native to California; a coast redwood (*Sequoia sempervirens*) grows at the top of bank. With a diameter

of 44 inches, it is likely that this tree was planted along the top of the creek bank by previous landowners. Other prominent landscape trees and shrubs include flowering plum (*Prunus cerasifera*), juniper (*Juniperus sp.*), Mexican fan palm (*Washingtonia robusta*), privet (*Ligustrum sp.*), photinia (*Photinia fraseri*), pittosporum (*Pittosporum sp.*), acacia (*Acacia sp.*), fir (*Picea sp.*), camellia (*Camellia sp.*), English holly (*Ilex aquifolium*), pussy willow (*Salix discolor*), bottlebrush (*Callistemon citrinus*), eugenia (*Syzygium sp.*), yucca (*Yucca sp.*), and cotoneaster (*Cotoneaster franchetti*). English ivy also grows on some trees, such as the Mexican fan palm.

Herbaceous plant species occur in open areas between the trailer park pads. Typical species include Bermuda buttercup (*Oxalis pes-caprae*) and veronica (*Veronica sp.*). Young sprouts of a native vine, wild cucumber (*Marah fabaceus*), were observed in some areas.

Figure 6 depicts the character of the landscaping amid the former trailer park facilities.



Figure 6. Non-native Landscaping amid Former Trailer Park Facilities on Northern Parcel, April 2011

The use of the landscaped habitat by native wildlife species is expected to be low. Birds, such as rock dove (*Columba livia*) and American crow (*Corvus brachyrhynchos*), which are relatively tolerant of adjacent human uses, may perch in the trees and bushes, and species such as Anna's hummingbird (*Calypte anna*) may nest and forage in plants such as bottlebrush and acacia.

2.3 SENSITIVE BIOTIC RESOURCES

2.3.1 Regulated Habitats

Santa Cruz County. The parcels are located within Santa Cruz County within the urban services line, yet outside the coastal zone (Santa Cruz County, 2011). According to County GIS records, the parcels are

mapped as supporting riparian woodland associated within Soquel Creek. The presence of riparian woodland was documented on the two parcels during this study. The woodland is composed of a narrow band of willow thicket on the northern parcel and a larger area of cottonwood-willow riparian woodland on the southern parcel.

The two parcels abut Soquel Creek, a perennial waterway. Field surveys documented the location of the Ordinary High Water Mark (OHWM) and the bankfull flow line. These lines typically correspond to the 2.3 year flow event and are identified in the field by evidence of scour, vegetation patterns (i.e., rooted location of riparian trees), debris deposition, and bank shelving. According to County Code (Section 16.32), all lakes, wetlands, estuaries, lagoons, streams and rivers are considered sensitive habitat. Where lands support perennial waterways, such as Soquel Creek, the riparian corridor is measured and defined from the bankfull flow line, and characterized as lands extending 50 feet (measured horizontally) out from each side of a perennial stream (measured from the mean rainy season [bankfull] flow line) or lands containing a riparian woodland (County Code Section 16.30.030 – Definitions – Riparian Corridor – Item (1) & (6)).

Under this same section of County Code, riparian vegetation is defined as plant species that are typically found in wet areas along streams or marshes. "A woodland is a plant community that includes these woody plant species that typically occur in wet areas along streams and marshes. Characteristic species are: black cottonwood, red alder (*Alnus oregona*), white alder (*Alnus rhombifolia*), sycamore (*Platanus racemosa*), box elder (*Acer negundo*), creek dogwood (*Cornus californica*), and willow (*Salix*)." The willow thicket present near the bankfull flow line on parcel APN 030-153-24 is the only riparian woodland species on this parcel. The non-native elms that were removed as part of a previous riparian exception permit are not a characteristic tree species found in riparian woodland, and therefore would not be classified as a riparian woodland species.

The location of the bankfull flow line and top-of bank on the two parcels is depicted on Figure 2 as documented during field surveys in January 2011 and flagged for surveying. This figure also characterizes the riparian corridor for each parcel. For the northern parcel (APN 030-153-24) the riparian corridor is defined as 50 feet from the bankfull flow line. All the riparian woodland vegetation on this parcel (i.e., willow thicket) is encompassed within this 50-foot offset from the bankfull flow line. On the southern parcel (APN 030-153-10) the riparian woodland vegetation extends outward from the 50-foot bankfull flow line offset. The riparian corridor for this parcel, therefore, extends to Porter Street, encompassing the entire parcel, as riparian woodland vegetation is present to this location. Figure 7 depicts the location of bankfull on the southern parcel, as documented during field surveys in January 2011 and flagged for surveying.



Bankfull flow line

Figure 7. Location of Bankfull Flow Line on Southern Parcel, April 2011

Waters of the State. CDFG is a trustee agency that has jurisdiction under Section 1600 et seq. of the CDFG Code. Under Sections 1600-1603 of the California Fish and Game Code, the California Department of Fish and Game (CDFG) regulates all diversions, obstructions, or changes to the natural flow or bed, channel or bank of any river, stream or lake which supports fish or wildlife. CDFG also regulates alterations to ponds and impoundments; CDFG jurisdictional limits typically extend to the top of bank or to the edge of riparian habitat if such habitat extends beyond top of bank (outer drip line), whichever is greater. On the northern parcel land extending from the creekbed to the top-of-bank would be within the regulatory jurisdiction of CDFG. On the southern parcel, the entire parcel would be within the jurisdiction of CDFG as riparian woodland extends westward from Soquel Creek to Porter Street. Areas under jurisdiction of CDFG are depicted on Figure 2. Alterations to areas within the jurisdiction of CDFG may be subject to permitting under Section 1600 (i.e., Streambed Alteration Agreement).

Water quality in California is governed by the Porter-Cologne Water Quality Control Act and certification authority under Section 401 of the Clean Water Act, as administered by the Regional Water Quality Control Board (RWQCB). The Section 401 water quality certification program allows the State to ensure that activities requiring a Federal permit or license comply with State water quality standards. Water quality certification must be based on a finding that the proposed discharge will comply with water quality standards which are in the regional board's basin plans. The Porter-Cologne Act requires any person discharging waste or proposing to discharge waste in any region that could affect the quality of the waters of the state to file a report of waste discharge. The RWQCB issues a permit or waiver that includes implementing water quality control plans that take into account the beneficial uses to be protected. Waters of the State subject to RWQCB regulation extend to the top of bank, as well as isolated water/wetland features and saline waters. Should there be no Section 404 nexus (i.e., isolated feature not subject to USACE jurisdiction); a report of waste discharge (ROWD) is filed with the RWQCB. The RWQCB interprets waste to include fill placed into water bodies. For the two County-owned parcels, activities occurring on land extending from the creek bed to the top-of-bank are within the jurisdictional area of the RWQCB. Areas under jurisdiction of RWQCB are depicted on Figure 2.

Waters of the U.S. The US Army Corps of Engineers (USACE) regulates activities within waters of the United States pursuant to congressional acts: Section 10 of the Rivers and Harbors Act of 1899 and Section 404 of the Clean Water Act (1977, as amended). Section 10 of the Rivers and Harbors Act requires a permit for any work in, over, or under navigable waters of the United States. Navigable waters are defined as those waters subject to the ebb and flow of the tide to the Mean High Water mark (tidal areas) or below the Ordinary High Water mark (OHWM) (freshwater areas). For the two County-owned parcels, the placement of fill below the OHWM is within the jurisdictional area of the USACE. No other water or wetland features were observed on the two parcels. Areas under jurisdiction of USACE are depicted on Figure 2.

2.3.2 Sensitive Habitats

Sensitive habitats are defined by local, State, or Federal agencies as those habitats that support special status species, provide important habitat values for wildlife, represent areas of unusual or regionally restricted habitat types, and/or provide high biological diversity. CDFG classifies and ranks the State's natural communities to assist in the determining the level of rarity and imperilment. Vegetation types are ranked between S1 and S5. For vegetation types with ranks of S1-S3, all associations within the type are considered to be highly imperiled. If a vegetation alliance is ranked as S4 or S5, these alliances are generally considered common enough to not be of concern; however, it does not mean that certain associations contained within them are not rare (CDFG, 2007 and 2010). The project area was observed to support one vegetation type with an imperiled status: cottonwood-willow riparian woodland, with a state ranking of S3. The riparian woodland is depicted on Figure 2.

Santa Cruz County Code also identifies sensitive or significant vegetation. Riparian woodland meets the definition of a sensitive habitat under County Code. As discussed under Regulated Habitats, County Code defines the riparian corridor as 50 feet from the bankfull flow line of perennial streams. If riparian woodland vegetation extends beyond this offset, the corridor extends outward to the edge of the riparian woodland vegetation. According to County Code, development activities shall conform to permitted uses and impacts to sensitive habitat be avoided. If development occurs within any sensitive habitat area the County requires the following: 1) mitigate significant environmental impacts, and 2) require the restoration of any area which is degraded sensitive habitat or has caused or is causing the degradation, with restoration commensurate with the scale of the development.

2.3.3 Special Status Plant Species

Plant species of concern include those listed by either the Federal or State resource agencies as well as those identified as rare by CNPS (List 1B). The search of the CNPS and CNDDDB inventories identified the special status plant species with potential to occur in the project area. There are no records of any special status species occurring on the two parcels or from the immediate project vicinity. Three plant species have records within the greater Soquel region. The closest occurrences are Santa Cruz tarplant (*Holocarpha macradenia*) and Santa Cruz clover (*Trifolium buckwestiorum*), which are known from SeaCrest residential development. In addition, Santa Cruz tarplant is known from a portion of Anna Jean Cummings Park. The tarplant and clover populations are located approximately 0.5 mile northwest of the two County-owned parcels. Other species recorded for the vicinity include San Francisco popcorn flower (*Plagiobothrys diffusus*) (near Fairway Drive) and robust spineflower (*Chorizanthe robusta var. robusta*) (upper North Rodeo Gulch Road). All species evaluated for potential occurrence on the property, as per CNDDDB records are listed on Table 2.

Surveys for rare plants were conducted during the April site visit. No special status plant species were observed. Due to the previously disturbed condition of the northern parcel and the overall lack of suitable habitat on both parcels (i.e., lack of coastal prairie, grassland, vernal pools, serpentine, or sandy substrates) the likelihood of special status plant species to occur on the two parcels is extremely low.

Table 2. List of Special Status Plant Species Evaluated as to Potential to Occur on the Two County-owned Parcels, Soquel, California, June 2011

Species	CNPS	State Status	Federal Status	Habitat Type Known Occurrences in Vicinity? Potential Occurrence on Site?
Soquel Quadrangle				
Santa Cruz manzanita (<i>Arctostaphylos andersonii</i>)	List IB.2	None	None	Maritime chaparral and intermixes with woodlands and redwood forest Summit of Empire Grade near Alba Road; Pine Flat Road; Bonny Doon Ecological Reserve; UCSC Reserve along Empire Grade Unlikely to occur due to lack of suitable habitat; not observed during surveys
Robust spineflower (<i>Chorizanthe robusta</i> var. <i>robusta</i>)	List IB.1	None	Endangered	Sandy terraces and bluffs, often intermixed with oak woodland/maritime chaparral, coastal scrub Recorded from Pogonip, upper Rodeo Gulch Road, ridgetop between Valencia Creek and tributary to Trout Creek. Unlikely to occur due to lack of suitable habitat
Tear drop moss (<i>Dacryophyllum falcifolium</i>)	List IB.3	None	None	Coast redwood forest, limestone substrate and outcrops Cave Gulch at UCSC Unlikely to occur due to lack of suitable habitat; not observed during surveys
Loma Prieta hoita (<i>Hoita strobilina</i>)	List IB.1	None	None	Chaparral, riparian woodland Historic (1800's) reference to roadsides in Santa Cruz Unlikely to occur due to degraded woodland habitat
Santa Cruz tarplant (<i>Holocarpha macradenia</i>)	List IB.1	Endangered	Threatened	Grasslands, prairie Known from Graham Hill Showgrounds, Arana Gulch Greenbelt, Twin Lakes State Beach (upper Schwann Lagoon), Anna Jean Cummings Park (Soquel), SeaCrest, Fairway Drive Area (Soquel) and DeLaveaga area (Armory) Unlikely to occur due to lack of suitable habitat
Woodland woollythreads (<i>Monolopia gracilens</i>)	List IB.2	None	None	Chaparral, grasslands, broadleaf forests, coniferous forests; grassy sites, sandy to rocky areas Historic record from Santa Cruz and Porter Gulch Unlikely to occur due to lack of suitable habitat
Dudley's lousewort (<i>Pedicularis dudleyi</i>)	List IB.2	None	None	Chaparral and grassland Historic (1884) record from Aptos

Table 2. List of Special Status Plant Species Evaluated as to Potential to Occur on the Two County-owned Parcels, Soquel, California, June 2011

Species	CNPS	State Status	Federal Status	Habitat Type
				Known Occurrences in Vicinity? Potential Occurrence on Site?
				Unlikely to occur due to lack of suitable habitat
White-rayed pentachaeta (<i>Pentachaeta bellidiflora</i>)	List 1B.1	Endangered	Endangered	Grassland; dry open slopes; often on serpentine Historic record from beach cliff in Santa Cruz and SSW of Eagle Rock; ridge between Scotts and Mill Creek Unlikely to occur due to lack of suitable habitat
San Francisco popcorn flower (<i>Plagiobothrys diffusus</i>)	List 1B.1	Endangered	None	Seasonally moist grasslands/prairie Known from Moore Creek Preserve, Parcel along Highway 1, Graham Hill Road, Polo Ranch, Fairway Drive area of Soquel Unlikely to occur due to lack of suitable habitat
Maple-leaved checkerbloom (<i>Sidalcea malachroides</i>)	List 1B	None	None	Grasslands, often on coastal terrace deposits Historic record (1932) from Santa Cruz Unlikely to occur due to lack of suitable habitat
Santa Cruz Clover (<i>Trifolium buckwestiorum</i>)	List 1B.1	None	None	Seasonally moist grasslands/prairie Known from SeaCrest development (Soquel); Graham Hill Road area and Pogonip Unlikely to occur due to lack of suitable habitat
Surrounding Quadrangles				
Bent-flowered fiddleneck (<i>Amsinkia lunaris</i>)	List 1B.2	None	None	Cismontane woodland, valley and foothill grassland; decomposed shale SW of Swanton; historic record from Polo Ranch in Scott's Valley Unlikely to occur due to lack of suitable habitat
Slender silver moss (<i>Anombryum julaceum</i>)	List 2.2	None	None	Broadleaf forest, coniferous forests, acidic substrates Quail Hollow County Park, Empire Grade near UCSC Unlikely to occur due to lack of suitable habitat
Hooker's manzanita (<i>Arctostaphylos hookeri</i>)	List 1B.1	None	None	Maritime chaparral and intermixes with woodlands Mar Monte, East Bel Mar, Buena Vista Road area Unlikely to occur due to lack of suitable habitat; not observed during surveys
Pajaro manzanita (<i>Arctostaphylos pajaroensis</i>)	List 1B.1	None	None	Maritime chaparral and intermixes with woodlands Historic record SE of Eagle Rock No suitable habitat in project area; not observed during surveys
Bonny Doon manzanita (<i>Arctostaphylos silvicola</i>)	List 1B.2	None	None	Maritime chaparral, closed cone pine forest within Zayante sandhills Recorded from several locations in Bonny Doon and Felton region, associated with Zayante sand deposits

Table 2. List of Special Status Plant Species Evaluated as to Potential to Occur on the Two County-owned Parcels, Soquel, California, June 2011

Species	CNPS	State Status	Federal Status	Habitat Type Known Occurrences in Vicinity? Potential Occurrence on Site?
				Unlikely to occur due to unsuitable habitat; not observed during surveys
Marsh sandwort (<i>Arenaria paludicola</i>)	List 1B.1	None	None	Marshes and swamps Historic record from Camp Evers, Scotts Valley Unlikely to occur due to unsuitable habitat
Santa Cruz Mountains pussypaws (<i>Calyptridium parryi</i> var. <i>hesseae</i>)	List 1B.1	None	None	Chaparral and cismontane woodland; sandy or gravelly openings W of Crest Ranch, Ben Lomond Mtn. Unlikely to occur due to unsuitable habitat
Swamp harebell (<i>Campanula californica</i>)	List 1B.2	None	None	Mesic areas, marshes Historic record from Camp Evers, Scotts Valley Unlikely to occur due to unsuitable habitat
Deceiving sedge (<i>Carex salinifromis</i>)	List 1B.2	None	None	Coastal prairie, scrub, meadows, seeps Historic record from Camp Evers, Scotts Valley Unlikely to occur due to unsuitable habitat
Monterey spineflower (<i>Chorizanthe pungens</i> var. <i>pungens</i>)	List 1B.1	None	Endangered	Maritime chaparral, coastal dunes, and woodlands, sandy substrate Known from Aptos region, Sunset State Beach, Pajaro Dunes area Unlikely to occur due to unsuitable habitat
Ben Lomond buckwheat (<i>Eriogonum nudum</i> var. <i>decurrens</i>)	List 1B.1	None	None	Maritime chaparral within Zayante sandhills Several sites in Bonny Doon, Felton regions, associated with Zayante sands Unlikely to occur due to unsuitable habitat
Santa Cruz wallflower (<i>Erysimum teretifolium</i>)	List 1B.1	Endangered	Endangered	Maritime chaparral within Zayante sandhills Several sites in Bonny Doon, Felton regions, associated with Zayante sands No suitable habitat in project area
San Francisco gumplant (<i>Grindelia hirsutula</i> var. <i>maritima</i>)	List 1B.2	None	None	Coastal scrub, grassland Recorded from Half Moon Bay area No suitable habitat in project area
Santa Cruz cypress (<i>Hesperocyparis abramsiana</i>)	List 1B.2	Endangered	Endangered	Chaparral, closed-cone pine forests Recorded from Bonny Doon, Bracken Brae, Majors Creek N of Smith Grade No suitable habitat in project area; not observed during surveys
Kellogg's horkelia (<i>Horkelia cuneata</i> ssp. <i>sericea</i>)	List 1B.1	None	None	Closed cone pine forest, coastal scrub, chaparral; old dunes, sandy openings Graham Hill Road (historic); Zayante area (historic) No suitable habitat in project area; not observed

Table 2. List of Special Status Plant Species Evaluated as to Potential to Occur on the Two County-owned Parcels, Soquel, California, June 2011

Species	CNPS	State Status	Federal Status	Habitat Type
				Known Occurrences in Vicinity? Potential Occurrence on Site?
				during surveys
Pt. Reyes horkelia (<i>Horkelia marinensis</i>)	List 1B.2	None	None	Coastal dunes, coastal prairie, coastal scrub; sandy flats Along Empire Grade SE of Smith Grade Road; Camp Ben Lomond, Between Scott and Waddell Creeks No suitable habitat in project area; not observed during surveys
Marsh microseris (<i>Microseris paludosa</i>)	List 1B.2	None	None	Pine forest, coastal scrub, grassland Recorded from Marshal Field (UCSC), historic record from Graham Hill Road; Greyhound Rock area No suitable habitat in project area
Santa Cruz Mountains beardtongue (<i>Penstemon rattanii</i> var. <i>kleei</i>)	List 1B.2	None	None	Sandy, shale soil in chaparral or burned chaparral, coniferous forest Intersection of Empire Grade and Ice Cream Grade; Ridge between Scott and Mill Creek; W of Eagle Rock No suitable habitat in project area; not observed during surveys
Choris' popcorn flower (<i>Plagiobothrys chorisianus</i> var. <i>chorisianus</i>)	List 1B.2	None	None	Seasonally moist grasslands/prairie, coastal scrub Recorded from Skypark and Glenwood area of Scott's Valley; Lasher Marsh near Swanton Road No suitable habitat in project area
Scotts Valley polygonum (<i>Polygonum hickmanii</i>)	List 1B.1	Endangered	Endangered	Grassland, on Purisima outcrops Recorded from Scotts Valley No suitable habitat in project area
Pine rose (<i>Rosa pinetorum</i>)	List 1B.2	None	None	Chaparral and pine woodlands Recorded from Mt. Hermon and Big Basin SP No suitable habitat in project area; not observed during surveys
San Francisco campion (<i>Silene verecunda</i> ssp. <i>verecunda</i>)	List 1B.2	None	None	Grasslands, often on coastal terrace deposits Recorded from Swanton, Big Basin RSP area No suitable habitat in project area

Source: CNDDDB, 2011 and CNPS, 2011.

CNPS Status: List 1B: These plants (predominately endemic) are rare through their range and are currently vulnerable or have a high potential for vulnerability due to limited or threatened habitat, few individuals per population, or a limited number of populations. List 1B plants meet the definitions of Section 1901, Chapter 10 of the CDFG Code. **List 4:** List 4 is a watch list of plants with limited distribution in the state that have low vulnerability and threat at this time. These plants are uncommon, often significant locally, and should be monitored.

2.3.4 Special Status Wildlife Species

Special status wildlife species include those listed, proposed or candidate species by Federal or the State resource agencies as well as those identified as State species of special concern. In addition, all raptor nests are protected by Fish and Game Code, and all migratory bird nests are protected by the Federal Migratory Bird Treaty Act.

Special status wildlife species were evaluated for their potential presence in the project area as described in Table 3 below.

Table 3. Special status wildlife species and their Predicted Occurrence on the Heart of Soquel Property, Santa Cruz County, CA, June 2011.

SPECIES	STATUS ¹	HABITAT	POTENTIAL OCCURRENCE ON SITE
Invertebrates			
Ohlone tiger beetle <i>Cicindela ohlone</i>	FE	Coastal terrace prairie with sparse vegetation and openings, Watsonville loam soils	None, no suitable habitat on site.
Monarch butterfly <i>Danaus plexippus</i>	*	Eucalyptus, acacia and pine trees groves provide winter habitat when they have adequate protection from wind and nearby source of water and nectar	Unlikely, nectar and larval food plants do not occur on the site.
Fish			
Steelhead <i>Oncorhynchus mykiss</i>	FT	Perennial creeks and rivers with gravels for spawning.	Known to occur in Soquel Creek.
Tidewater goby <i>Eucyclogobius newberryi</i>	FE, CSC	Coastal lagoons and associated creeks up to 1 mile inland	Known from the portion of Soquel Creek downstream of Highway 1.
Amphibians			
California red-legged frog <i>Rana aurora draytonii</i>	FT, CSC	Riparian, marshes, estuaries and ponds with still water at least into June.	Known from East Branch Soquel Creek, several miles upstream of this site; not known from stretch of Soquel Creek along this project site.
Foothill yellow-legged frog <i>Rana boylei</i>	CSC	Perennial creeks with cobble substrate for egg attachment.	Known from portions of Soquel Creek several miles upstream of the project area, but not within this project area.
Reptiles			
Western pond turtle <i>Actinemys marmorata</i>	CSC	Creeks and ponds with water of sufficient depth for escape cover, and structure for basking; grasslands or bare areas for nesting.	Known from upstream reaches of Soquel Creek, but not within the stretch along this project site.
Birds			
Yellow warbler <i>Dendroica petechia brewsteri</i>	CSC	Nests in dense riparian with cottonwood canopy and dense willow understory	Possible in the willow-cottonwood habitat along project site.
Tricolored blackbird <i>Agelaius tricolor</i>	CSC	Dense bulrush and/or cattail vegetation adjacent to freshwater marshes	None. No suitable habitat on site.
Mammals			
Pallid bat	CSC	Roosts in caves, rocky outcrops,	Unlikely, trees lack substantial

Table 3. Special status wildlife species and their Predicted Occurrence on the Heart of Soquel Property, Santa Cruz County, CA, June 2011.

SPECIES	STATUS ¹	HABITAT	POTENTIAL OCCURRENCE ON SITE
<i>Antrozous pallidus</i>		tree hollows, mines that protect bats from heat and human disturbance	hollows and high human use in surrounding area.

¹ Key to status:

- FE = Federally listed as endangered species
- FT = Federally listed as threatened species
- SE = State listed as endangered species
- ST = State listed as threatened species
- CSC = California species of special concern
- * = Species of local concern under County LCP

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Appendix A

Plant Species List

Vascular Plant Checklist
Heart of Soquel – County RDA owned Parcels
April 2011

CONIFERS

CUPRESSACEAE

- Cupressus macrocarpa** (Monterey cypress)
- Juniperus communis** (common juniper)
- Thuja sp.** (arborvitae)

TAXODIACEAE

- Sequoia sempervirens* (coast redwood)

FLOWERING PLANTS-DICOTS

ACERACEAE

- Acer negundo* var. *californicum* (box elder)

AIZOACEAE

- Carpobrotus edulis** (ice plant)

APIACEAE

- Anthriscus caucalis** (bur chervil)
- Conium maculatum** (poison hemlock)
- Torilis arvensis** (hedge-parsley)

APOCYNACEAE

- Vinca major**(periwinkle)

AQUIFOLIACEAE

- Ilex aquilinum** (English holly)

ARALIACEAE

- Hedera helix** (English ivy)
- Hedera canariensis** (Algerian ivy)

ASTERACEAE

- Anthemis cotula**(mayweed)
- Baccharis pilularis* (coyote brush)
- Bellis perennis** (English daisy)
- Carduus spp.** (thistle)
- Conyza bonariensis** (sidewalk horeseweed)
- Delaireia odorata** (Cape ivy)
- Filago gallica** (narrow-leaved filago)
- Gnaphalium luteo-album** (weedy cudweed)
- Hypochoeris glabra** (smooths cat's ear)
- Hypochoeris radicata** (rough cat's ear)
- Lactuca saligna** (willow lettuce)
- Picris echioides** (bristly ox-tongue)
- Senecio vulgaris** (common groundsel)
- Sonchus oleraceus** (common sow thistle)
- Taraxacum officinale** (dandelion)

BORAGINACEAE

- Myosotis latifolia** (forget-me-not)

BRASSICACEAE

- Brassica rapa** (field mustard)

Cardamine oligosperma (popweed/bittercress)
*Lobularia maritima** (sweet alyssum)
*Raphanus sativus** (wild radish)

CARYOPHYLLACEAE

Spergula arvensis ssp. *arvensis** (spurrey)
*Stellaria media** (common chickweed)

CISTACEAE

*Cistus creticus** (rock rose)

CONVOLVULACEAE

*Convolvulus arvensis** (bindweed)

CRASSULACEAE

*Crassula tilaea** (moss pygmy-weed)

CUCURBITACEAE

Marah fabaceus (wild cucumber)

EUPHORBIACEAE

*Euphorbia peplus** (petty spurge)

FABACEAE

*Acacia dealbeata** (silver wattle)
*Genista monspessulana** (French broom)
*Medicago polymorpha** (California bur clover)
*Trifolium campestre** (hop clover)
*Trifolium subterraneum** (subterranean clover)
Vicia sativa ssp. *nigra** (narrow-leaved vetch)

FAGACEAE

Quercus agrifolia (coast live oak)

GERANIACEAE

*Erodium botrys** (long-beaked filaree)
*Erodium cicutarium** (red-stemmed/short-beaked filaree)
*Geranium sp.** (geranium)

MAGNOLIACEAE

*Magnolia sp.** (magnolia)

MALVACEAE

*Malva nicaeensis** (bull mallow)
*Malva parviflora** (cheeseweed)

MYRTACEAE

*Callistemon sp.** (bottlebrush)

OXALIDACEAE

*Oxalis corniculatus** (creeping wood sorrel)
*Oxalis pes-caprae** (Bermuda buttercup)

PALMACEAE

*Washingtonia sp.** (fan palm)

PAPAVERACEAE

Eschscholtzia californica (California poppy)

PITTOSPORACEAE

*Pittosporum sp.** (box)

PLANTAGINACEAE

*Plantago lanceolata** (English plantain)

POLYGONACEAE

*Rumex crispus** (curly dock)

*Rumex pulcher** (fiddle dock)

PRIMULACEAE

*Anagallis arvensis** (scarlet pimpernel)

ROSACEAE

*Cotoneaster franchetii** (orange cotoneaster)

*Photinia sp.** (photinia)

*Prunus cerasifera** (cherry plum)

*Prunus sp.** (prunus)

*Raphiolepis sp.** (raphiolepis)

Rosa sp. (garden rose)

*Rubus discolor** (Himalayan blackberry)

Rubus ursinus (California blackberry)

*Rubus ulmifolius var. inermis** (thornless blackberry)

RUBIACEAE

Galium aparine (goose grass)

SALICACEAE

Populus balsamifera ssp. trichocarpa (black cottonwood)

Salix lasiolepis (arroyo willow)

Salix lasiandra (yellow willow)

*Salix sp.** (pussy willow)

*Salix sp.** (curly willow)

SCROPHULARIACEAE

*Veronica sp.** (speedwell)

TROPAEOLACEAE

*Tropaeolum majus** (nasturtium)

ULMACEAE

*Ulmus alata** (winged elm)

FLOWERING PLANTS - MONOCOTS

LILIACEAE

POACEAE

*Agrostis sp.** (bentgrass)

*Avena sp.** (wild oat)

*Bromus diandrus** (ripgut brome)

*Bromus hordeaceus** (soft chess)

Cortaderia jubata (jubata grass)

*Cynodon dactylon** (Bermuda grass)

*Hordeum leporinum** (farmer's foxtail)

*Lolium multiflorum** (Italian ryegrass)

NOTES:

* = non-native species

nomenclature from Jepson Manual (Hickman 1993)

Appendix B

Tree Inventory

Tree Inventory - RDA Parcels, 2011					
Number	Species	Diameter (inches)	Location		Notes
			Bank	Terrace	
Northern Parcel					
1	Arroyo Willow	2	x		near bankfull
2	Arroyo Willow	2	x		near bankfull
3	Arroyo Willow	1	x		near bankfull
4	Fir	21		x	non-native
5	Coast Live Oak	6		x	
6	Coast Redwood	44		x	likely planted
7	Pussy Willow	20		x	non-native
8	Landscape tree	15 (multi-stem)		x	non-native
9	Landscape tree	11 (multi-stem)		x	non-native
10	Landscape tree	10 (multi-stem)		x	non-native
11	Palm	30		x	non-native
12	Plum	15 (multi-stem)		x	non-native
13	Fir	7		x	non-native
14	Landscape tree	14 (multi-stem)		x	non-native
15	Landscape tree	6,8 (double)		x	non-native
16	Palm	30		x	non-native
17	Landscape tree	16		x	non-native
18	Curly willow	11 (multi-stem)		x	non-native
19	Curly Willow	6		x	non-native
20	Curly Willow	7, 9 (double)		x	non-native
21	Landscape tree	4, 7 (double)		x	non-native
22	Landscape tree	20		x	non-native
23	Landscape tree	4,5,6 (multi)		x	non-native
24	Landscape tree	10 (multi-stem)		x	non-native
25	Landscape tree	14		x	non-native
26	Landscape tree	7, 9 (double)		x	non-native
27	Landscape tree	12 (multi)		x	non-native
28	Landscape tree	16		x	non-native
29	Plum	20 (multi)		x	non-native
30	Landscape tree	22 (multi)		x	non-native
31	Landscape tree	6, 9 (double)		X	non-native
32	Landscape tree	8		x	non-native
33	Landscape tree	4,6 (double)		x	non-native
34	Coast Redwood	36		x	likely planted
35	Plum	22		x	non-native
36	Landscape tree	6		x	non-native
37	Coast redwood	40		x	likely planted
38 to 49	Elm	1, 2	x		non-native
50 to 56	Arroyo Willow	1, 2	x		near bankfull
57 to 68	Elm	1, 2	x	x	non-native
Southern Parcel					
1	Cottonwood	24	x		
2	Cottonwood	20	x		

3	Cottonwood	6	x		
4	Cottonwood	8	x		
5	Cottonwood	11	x		
6	Cottonwood	12	x		
7	Cottonwood	9	x		
8	Cottonwood	8		x	
9	Willow	8		x	
10	Coast Live Oak	20		x	
11	Willow	11		x	
12	Willow	9		x	
13	Willow	12		x	
14	Willow	9		x	
15	Willow	26		x	split trunk/limbs
16	Cottonwood	28		x	near Porter
17	Cottonwood	28		x	near Porter
18	Cypress	18		x	near Porter
19	Alder	8	x		
20	Alder	6	x		



October 4, 2011

Mathew Johnston
Environmental Coordinator
Planning Department
County of Santa Cruz
701 Ocean Street
Santa Cruz, CA 95060

Re: Biological Review of the Biotic Report for the Heart of Soquel – RDA Parcels (APNs 030-153-24, 10)

Dear Matt:

This letter summarizes our review of the “Biological Report” prepared by Biotic Resource Group (BRG) in association with Dana Bland and Associates dated 27 June 2011 for the Santa Cruz County Redevelopment Agency entitled “Heart of Soquel – RDA Parcels Biological Report”. The biotic survey and report findings were prepared evaluate potential biological impacts from development of for a parking structure, consolidation of business waste infrastructure for the town of Soquel, a passive park, open space and pathways, and riparian restoration. The “Heart of Soquel parcels (APNs 030-153-10, 24) are located within the unincorporated town of center of Soquel between Porter Street on the west, Soquel Avenue on the north, and Soquel Creek on the east side of the parcels. The northern most parcel (APN 030-153-24) previously supported the Heart of Soquel Trailer Park that is only now represented by remnant cement trailer pads. Also present are three existing residential structures, flat bare disturbed areas, non-native landscaping, and riparian vegetation adjacent to Soquel Creek. The southern parcel is a presently undeveloped rectangular parcel that abuts Soquel Creek on the east and Porter Street on the west side with Soquel Elementary School bordering the south side of the parcel and the old Soquel Grange building on the north side.

Kathleen Lyons and Dana Bland conducted biological surveys in January, February and April 2011. The focus of these surveys include surveys for special-status species with potential to occur on or adjacent to the parcels, map and characterize vegetation communities within the project area, conduct preliminary determination of water features found on or adjacent to the parcels and assist with the identification of all trees rooted in the project area. No protocol-level surveys were conducted for listed species known to occur in the vicinity of the lower Soquel Creek watershed. The timings of the surveys were conducive to clearance level surveys, in particular, annual special-status plants and nesting birds and maternal roosting bats.

Bill Davilla of EcoSystems West, Matt Johnston of the County of Santa Cruz Planning Department

conducted an overview of the parcels in early September 2011 with a specific focus on those areas designated for development, improvements, and enhancement. Particular focus was on the location, extent, and condition of riparian habitat adjacent to Soquel Creek and within the northern parcel.

The vegetation habitats on the properties are characterized by BRG as cottonwood-willow riparian woodland, willow thicket, Himalayan berry brambles, non-native landscaping and ruderal grassland/annual brome grassland. The predominant habitat on the north parcel is non-native landscaping scattered around bare ground and the remnant cement trailer pads or adjacent to the home structures on the flat terrace. Cottonwood-willow riparian habitat occurs in scattered occurrences along the moderate slope above Soquel Creek along the east side of the parcels and in scattered stands on the southern parcel near Porter Street. The Soquel Creek bank along the eastern edge of the north parcel supports scattered stands of arroyo willow but is most prominently covered by dense thickets of Himalaya berry, thornless berry brambles and non-native English elm trees (*Ulmus campestris*). At the time of our field review, the elm trees had been cut and were stump-sprouting from the base of the remaining boles. The southern parcel presently supports disturbed ruderal grassland in the central portion of the plot. No special-status plant species were observed on the parcels and no potential habitat for species known to occur in the vicinity of the parcels. No special-status wildlife species were observed during the course of field surveys. Potential breeding habitat for birds and bats occurs in the trees and riparian vegetation along the stream corridor. Soquel Creek supports anadromous fish runs for steelhead.

Biotic Resources Group recognized one sensitive habitat type (cottonwood-willow riparian woodland) on the parcels. The cottonwood-willow riparian habitat meets the County definition of a sensitive habitat due to its CDFG rarity index ranking of S3 and under the County Sensitive Habitat/Riparian Ordinance. Biotic Resources Group does not recognize any of the vine and bramble habitat growing on the banks of the stream as riparian vegetation since the dominant species are non-native and introduced even though they are clearly part of the riparian corridor and likely connected to the perennial stream. Due to this interpretation of the bank vegetation lacking characteristic riparian indicator species like black cottonwood, red or white alder, sycamore, box elder, dogwood, and willow the bank is not characterized as riparian habitat. Based on this preposition, BRG delineated the riparian corridor from the bankfull flow line of Soquel Creek, with a 50-foot offset from that point. The County of Santa Cruz recognized the elm trees growing on the bank above Soquel Creek as riparian vegetation and demarcated the riparian habitat at the dripline of the elm trees with a buffer set from that point. This reviewer agrees with the County's interpretation. Current accepted definitions for "riparian area" looks at multiple variables, both biotic and abiotic, to characterize the lateral transition from aquatic to upland habitats with riparian habitat somewhere in between and recognizing that the riparian boundary does not stop at an uniform distance from the channel or bank but can vary in width, shape, and composition within the same stream reach. Therefore it is best to conservatively characterize the edge of the riparian (or bank vegetation) by the outermost edge of the dripline of the canopy vegetation or vegetation thickets, particularly along this reach of Soquel Creek. Even though the English elm trees were most certainly planted at the top of the bank (noted in Appendix B Tree Inventory), they became a important structural component of the riparian habitat along this reach of Soquel Creek and provided similar functions and values to those characteristic of native riparian trees mentioned above. The elms provided bank stabilization during high flows, stream shading and detrital input for anadromous fish and aquatic organisms and nesting cover for breeding birds and upper canopy stratification to the vegetation structure. It is

clear that these trees are hydraulically tied to the perennial waters of Soquel Creek. Any riparian habitat restoration efforts would surely treat the bank as riparian habitat and not just below the bankfull flow line. Current riparian area identification methods along stream corridors include at a minimum the stream channel, floodplain (if present), terrace slope (stream bank) to the top, and one tree length on the top of the terrace at the top of the slope (Ilhardt et al. 2000). This riparian delineation method best characterizes the functional boundary of the riparian habitat along Soquel Creek on the north parcel and the eastern edge of the south parcel with the outer dripline of the trees growing at the top of slope demarcating the edge of the riparian habitat and buffers determined from this point. The cottonwood stand growing on the western end of the southern parcel are probably not getting ground water directly from Soquel Creek but rather from a lateral subsurface drainage from the west. The western and central portion of the southern parcel looks to have a high water table and may be best characterized as a seasonal wetland. Prior to finalizing development plans for this parcel, if there are any, this area should have wetland determination.

Should you require further clarification of this review, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'BD', with a long horizontal flourish extending to the right.

Bill Davilla
Principal

Ilhardt B.L., Verry, E.S., and Palik, B.J. 2000. Defining riparian areas. In *Forestry and the Riparian Zone*. R.G. Wagner and J.M. Hagan Editors. October 26, 2000. Pages 7-13.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

October 9, 2011

David Reid
701 Ocean Street
Santa Cruz, CA 95060

APN: 030-153-10, 24
Situs: Heart of Soquel
App #: REV111065

Dear: Mr. Reid

The review of your Biological Evaluation by Biotic Resources Group, dated June 27, 2011, has been completed. The review letter from our consulting biologist is attached for your reference. The report was produced in order to characterize and map the major plant communities on the parcel, including the extent of the riparian vegetation, to identify sensitive botanical resources and sensitive habitat, including the extent of waters of the U.S., waters of the state, and County-regulated habitats, and to identify the species and diameter of all trees in the project area and their rooted location.

After a thorough review of the report submitted, the resources on site, the review letter provided by Ecosystems West and the previous riparian exceptions issued related to these parcels, the County makes the following findings:

1. Regarding special status plant species, the County concurs with the reports determination that the site does not support special status plants.
2. Regarding special status wildlife species, the County concurs with the reports determinations with the exception of the foothill yellow legged frog (FYLG) and the western pond turtle (WPT). As documented in the previous biotic assessment submitted for the elm tree removal on this site, the FYLG has been identified under the bridge immediately upstream of the project site, as well as at the Bargetto winery 0.5 miles upstream of the project site. The WPT has been identified both upstream and downstream of the project site, and has the potential to use the stream throughout this reach.
3. Regarding the extent of riparian vegetation, the County stands by its previous determination that the riparian corridor extends to the drip line of the elm trees that were removed under permit number 101082, and that there is a 50-foot riparian buffer that extends beyond that drip line. The extent of the riparian corridor and buffer were established and confirmed at the consultation meeting on June 7, 2011 under application

ATTACHMENT

7

PA101006.

4. Regarding the identification of tree species, the report mistakenly identifies the elm trees as winged elms. The width and roughness of the leaves indicate an English elm, although confirmation during flowering is needed to confirm. The Evaluation of Existing Trees produced by Nigel Belton for the Redevelopment Department (5/9/2011) identifies these trees as either English or Dutch elm, or a hybrid of the two.

Based upon the findings above, future development of the site should include mitigations for the species listed in the report, as well as for the WPT and the FYLG. Development within the riparian buffer and corridor shall be limited to those activities described in General Plan section 5.2.7; non-motorized recreation and pedestrian trails, parks, and interpretive facilities. Development must be done subject to an approved Riparian Exception.

A copy of this letter has been forwarded to the Resource Planner for her records. Please call me if you have any questions regarding this letter.

Sincerely,

Matthew Johnston
Environmental Coordinator
(831) 454-3201

ATTACHMENT 7

**AN EVALUATION OF THE EXISTING TREES LOCATED WITHIN
THE SOQUEL LINEAR PARK AND PARKING PROJECT
(AKA THE HEART OF SOQUEL PARK SITE)
SOQUEL VILLAGE
APN – 030-153-24**

**SITE INSPECTION ON MAY 9, 2011
BY: NIGEL BELTON
WCISA CERTIFIED ARBORIST – WE410A**

**PREPARED AT THE REQUEST OF:
DAVID REID
PROJECT MANAGER
COUNTY OF SANTA CRUZ REDEVELOPMENT AGENCY
GOVERNMENTAL CENTER
701 OCEAN STREET, ROOM 510
SANTA CRUZ, CA 95060**

JOB: THE HEART OF SOQUEL PARK - 2011

An Evaluation of the Existing Trees Located Within the Soquel Linear Park and Parking Project
APN – 030-153-24

Background and assignment:

David Reid, Project manager for the County of Santa Cruz Redevelopment Agency requested that I provide this report regarding the existing trees located on the site of the proposed Heart of Soquel Park development. The report will identify and comment on individual trees within the project and will make recommendations regarding suitability for preservation based on their condition, location and compatibility with the proposed development plans.

This report will also discuss and make recommendations regarding the eradication and control of invasive trees and plants in the proximity of the Soquel Creek bank.

The report will make recommendations pertaining to the preservation of specific trees on this site that are vulnerable to root damage during improvement work.

Discussion:

The park site includes a portion of Soquel Creek including the riparian area of creek banks and an extensive area of flat land that will be developed into a multi use park site.

The proposed development of the Heart of Soquel Park Site will initially entail the demolition of existing structures and the remnants of the original mobile home sites that occupy this property.

The proposed park site will include a plaza, a performance area and riparian restoration. The proposed park will also include new landscape and tree plantings and access paths and trails. Additional parking areas are proposed for the north and west sides of this parcel. The top of the creek bank and surrounding areas along the south side of the project have been designated for riparian landscape restoration work.

Many of the trees on this site that are in poor condition due to their age, disease and insect infestation and a lack of maintenance will have to be removed.

An Evaluation of the Existing Trees Located Within the Soquel Linear Park and Parking Project
APN – 030-153-24

There are a number of invasive tree species that require removal and eradication including Japanese Privets (*Ligustrum japonicum*) near the west side of the parcel and the areas of extensive Elm sucker (*Ulmus* sp) growth along the sloping creek bank and the top of the bank. The Elm sucker growth is extremely invasive and it will require the killing of the entire root structures in order to effectively eradicate this plant. This work will have to undertaken carefully in this environmentally sensitive location to avoid contaminating Soquel Creek and its environs.

The majority of the trees located on the western side of the parcel will have to be removed because they are generally in poor condition and are not compatible with the development plans for this site. Many of these trees are located in close proximity to or are within the areas proposed for new parking spaces.

The trees recommended for preservation include three large Coast Redwoods (*Sequoia sempervirens*). Two of these trees are located within the park parcel. The other Coast Redwood included in this report is located on an adjacent private property. I have included notes regarding the preservation of these trees during the planning and construction phases of this project in the text below.

Note that this is a preliminary report regarding tree removal and preservation recommendations pertaining to the conceptual planning phase of this development. Further analysis and input regarding tree preservation strategies is recommended for the development of the detailed development plans for this park,

Please contact me if you have any questions.

Sincerely yours

Nigel Belton

Attachment – The accompanying nine page tree survey and recommendations

An Evaluation of the Existing Trees Located Within the Soquel Linear Park and Parking Project
APN – 030-153-24

TREE NO. AND SPECIES	SIZE	TREE CONDITION – DISCUSSION AND RECOMMENDATIONS
1. Purple Plum (Prunus sp)	22 inch base	<p><u>Location</u> – Near the north east corner of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>This tree and the adjacent Plum root sucker next to the boundary fence Should be removed because of the trees poor condition and location. The Plum is declining is diseased and is declining in health.</p>
2a. Camellia (Camellia sasanqua)	10 inch base	<p><u>Location</u> – Near the north east corner of the parcel <u>Condition</u> – Good health and poor structure <u>Suitability for preservation</u> – Poor</p> <p>The Camellia is in a poor location regarding the plans for the proposed park development. This is a good specimen which may be suitable for transplanting to another property location.</p>
2b. Camellia (Camellia sasanqua)	10 inch base	<p><u>Location</u> – Near the north east corner of the parcel <u>Condition</u> – Good health and poor structure <u>Suitability for preservation</u> – Poor</p> <p>The Camellia is in a poor location regarding the plans for the proposed park development. This is a good specimen which may be suitable for transplanting to another property location.</p>
3. Elm Suckers (Ulmus sp – most likely Dutch or English Elms or Hybrids of those species)	Between 1 and 4 inch DBH	<p><u>Location</u> – Along the top of the bank of Soquel Creek <u>Condition</u> – Poor health and structures <u>Suitability for preservation</u> – Poor</p> <p>The Elm suckers are very invasive and have spread extensively along the adjacent creek bank. These suckers are encroaching from the top of the bank into the open space that is designated for development. The Elm suckers are regenerating from the root structures of the original trees which were killed by Dutch Elm Disease (Ophiostoma novo-ulmi). These trees were removed in 2008.</p> <p>The existing sucker growth is vulnerable to being killed by the cycles of infection caused by this disease. The suckers will likely re-generate and be killed off again and again by repeated infections over time.</p> <p>I recommend that all the Elm suckers and remaining viable Elm roots <u>at the top of the creek bank</u> are killed through the use of grubbing and root removal procedures.</p>

<u>TREE NO. AND SPECIES</u>	<u>SIZE</u>	<u>TREE CONDITION – DISCUSSION AND RECOMMENDATIONS</u>
<p>3. Elm Suckers – Continued from the previous page</p>	<p>Between 1 and 4 inch DBH</p>	<p>The recommendations that were included in this report are outlined below. I have changed some of the original recommendations to relate to the current development plans for this park.</p> <p>The prolific sucker growth on the bank should be removed in the most environmentally sensitive manner possible considering the proximity of the creek and its environs. Re-vegetation with appropriate species immediately following this work will reduce the potential for erosion.</p> <p>The judicious use of an appropriate herbicide for this context may be the only practical control option available for killing the roots while maintaining the integrity of the bank. This riparian site is a very sensitive habitat and the potential use of herbicides for vegetation control will likely be under public scrutiny.</p> <p>I recommend that the County of Santa Cruz contact a registered Pest Control Advisor to ascertain what chemical control options may be available for woody vegetation control in a riparian area, specifically pertaining to the control of Elm sucker growth at this site. Any herbicide option would have to comply with County, State and Federal laws.</p> <p>The physical removal of the below ground portions of the Elm roots and sucker growth by grubbing does not appear to be a practical option on the creek bank as the resultant environmental damage will likely cause erosion and contamination of the creek with soil and debris. I can only recommend the grubbing and removal of Elm roots and suckers at the top bank and flat areas to avoid this concern.</p> <p>I recommend consideration of the use of a 30 inch wide stiff plastic root barrier to delineate the top of the bank and exclude encroachment by invasive weed species and Elm suckers from the sloping bank below. The root barrier should be installed at the top of the bank as defined on the Draft Tree Removal Plan provided by the County of Santa Cruz Department of Public Works. This barrier should be installed at a depth of 27 inches and should protrude above the soil grade by about three inches in order to discourage plant material and roots from intruding over the top of the soil from the bank below.</p>
<p>4. Spruce (Picea sp)</p>	<p>13.5 inch DBH</p>	<p><u>Location</u> – Near the top of the creek bank at the eastern end of the Parcel. <u>Condition</u> – Good health and structure <u>Suitability for preservation</u> – Good</p> <p>This attractive specimen should be retained. Tree protection zone fencing should be installed before demolition, clearing and grubbing work proceeds.</p>

<u>TREE NO. AND SPECIES</u>	<u>SIZE</u>	<u>TREE CONDITION-DISCUSSION AND RECOMMENDATIONS</u>
4. Spruce - Continued		The fencing shall be placed at the canopy drip line if possible and should be maintained in good repair for the duration of the construction period.
5. Holly (Ilex aquifolium)	6 inch DBH	<p><u>Location</u> – Near the top of the creek bank <u>Condition</u> – Good health and fair structure <u>Suitability for preservation</u> – Poor</p> <p>The Holly is not an attractive specimen and is crowding out the adjacent Spruce (Tree #4). It should be removed.</p>
6. Elm suckers and various smaller trees and shrubs	Between 1 and 4 Inch DBH	<p><u>Location</u> – In the proximity of the top of the bank and the east side of the Parcel <u>Condition</u> – Fair health and structures <u>Suitability for preservation</u> – Poor</p> <p>These shrubs and invasive English Ivy (Hedera helix) and Elm suckers encroach out into the proposed park site from the top of the creek bank and must be removed.</p>
7. Pfitzer Juniper (Juniperus pfitzerana)	10 inch base	<p><u>Location</u> – In the proximity of trees #4. through #7. <u>Condition</u> – Good health and fair structure <u>Suitability for preservation</u> – Poor</p> <p>This tree is incompatible with the development goals of this project due to its location and appearance. It should be removed.</p>
8. Coast Redwood (Sequoia sempervirens)	44 inch DBH	<p><u>Location</u> – Below the top of the creek bank <u>Condition</u> – Good health and structure <u>Suitability for preservation</u> – Good</p> <p>This large tree should be pruned to open views from the top of the bank to the creek below. Basal sucker growth should be removed and the canopy should be raised to between eight and ten feet above grade.</p>
9. Pussy Willow (Salix discolor)	20 inch base	<p><u>Location</u> – This tree is located 45 feet north of the top of the creek bank <u>Condition</u> – Good health and fair structure <u>Suitability for preservation</u> – Poor</p> <p>The Willow is in a location that is not compatible with the development plans for this project and should be removed.</p>
10. Japanese Privet (Ligustrum japonicum)	15 inch base	<p><u>Location</u> – This tree is located 35 feet north of the top of the creek bank near the west side of the parcel. <u>Condition</u> – Good health and fair structure <u>Suitability for preservation</u> – Poor</p> <p>All the Japanese Privets on this site should be removed being invasive trees which are not compatible with the plans for the park development.</p>

TREE NO. AND SPECIES	SIZE	TREE CONDITION – DISCUSSION AND RECOMMENDATIONS
11. Japanese Privet	11 inch base	<p><u>Location</u> – In close proximity to tree #10. <u>Condition</u> – Fair health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this tree.</p>
12. Japanese Privet	10 inch base	<p><u>Location</u> – In close proximity to tree #11. <u>Condition</u> – Good health and fair structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this tree.</p>
13. Purple Plum	15 inch base	<p><u>Location</u> – At the west side of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this tree as it is declining and it is incompatible with the park development plans.</p>
14. Mexican Fan Palm (Washingtonia robusta)	30' inch DBH	<p><u>Location</u> – At the west side of the parcel <u>Condition</u> – Good health and structure (Note that much of the trunk is obscured by English Ivy which could hide structural defects) <u>Suitability for preservation</u> – Poor on this site</p> <p>This tall Mexican Fan Palm is not compatible with the park development plans due to its location and growth habit. It is a good specimen as far as I can ascertain and it may be re-located to another site if a buyer is available.</p>
15. Spruce	5 inch DBH	<p><u>Location</u> – Adjacent to the west boundary of the parcel <u>Condition</u> – Good health and structure <u>Suitability for preservation</u> – Good</p> <p>This tree is located near to the boundary fence and can be retained if it is compatible with the development plans for this park. Tree protection zone fencing should be installed before any demolition, clearing and grubbing work proceeds. The fence should be placed at the canopy drip line and maintained in good repair for the duration of the construction period.</p>
16. Pfitzer Juniper	8 inch base	<p><u>Location</u> – In close proximity to the west boundary <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>This Juniper should be removed as it is not compatible with the project.</p>
17. Photinia (Photinia frazeri)	14 inch base	<p><u>Location</u> – In close proximity to the west boundary <u>Condition</u> – Fair health and structure <u>Suitability for preservation</u> – Poor</p> <p>This Photinia should be removed because it is not compatible with the plans for this development.</p>

TREE NO. AND SPECIES	SIZE	TREE CONDITION-DISCUSSION AND RECOMMENDATIONS
18.Mexican Fan Palm	30 inch DBH	<p><u>Location</u> – Near the west side of the project <u>Condition</u> – Good health and structure (note that much of the trunk is obscured by English Ivy which could hide structural defects) <u>Suitability for preservation</u> – Poor on this site</p> <p>This palm is not compatible with the plans for the park development and the proposed parking area. It should be removed or transplanted to an outside location.</p>
18A.Coast Live Oak	3 inch DBH	<p><u>Location</u> – Near the west side of the project <u>Condition</u> – Good health and a poor structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this small oak because it is a poor specimen and it is in a poor location regarding the proposed development.</p>
19.Curly Willow (Salix matsudana - “Tortuluosa”)	16 inch DBH	<p><u>Location</u> – Adjacent to the property boundary on the west side of the project <u>Condition</u> – Good health and poor structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this tree because it is not compatible with the planned development being located in very close proximity to the proposed parking area.</p>
20.Arroyo Willow (Salix sp)	small - multiple stems	<p><u>Location</u> – Near the west boundary of the project <u>Condition</u> – Good health and poor structure <u>Suitability for preservation</u> – Poor</p> <p>This multi stem tree is located within the area of the proposed parking area and should be removed.</p>
21.Eugenia (Syzygium paniculatum)	7.5 – 6 inch DBH	<p><u>Location</u> – Near the west side of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this tree because of its poor location (within the proposed parking area), its condition and its structure. * Note - All the Eugenia trees on this parcel should be removed because they exhibit poor health and poor structures. The trees have been degraded by heavy infestations of Eugenia Psyllid (Trioza eugeniae) which has distorted their foliage and has influenced their growth patterns. This insect excretes an unpleasant sticky residue which adheres to the surfaces below the tree canopies.</p>
22.Eugenia	6 – 4.5 inch DBH	<p><u>Location</u> – Near the west side of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this tree due to its condition and location. * See additional information in the notes regarding Tree #21.</p>

<u>TREE NO AND SPECIES</u>	<u>SIZE</u>	<u>TREE CONDITION-DISCUSSION AND RECOMMENDATIONS</u>
23.Loquat (Eriobotrya japonica)	20 inch DBH	<u>Location</u> – Near the west side of the parcel <u>Condition</u> – Poor health and fair structure <u>Suitability for preservation</u> – Poor Remove the Loquat Tree because of its poor condition and its location within the footprint of the proposed parking area.
24.Bottle Brush (Callistemon citrinus)	4-5-6 inch DBH	<u>Location</u> – Near the west side of the parcel <u>Condition</u> – Good health and fair structure <u>Suitability for preservation</u> – Poor Remove this shrub because it is within the footprint of the proposed parking area.
25.Lemon Wood Pittosporum (Pittosporum eugenioides)	6 inch DBH	<u>Location</u> – Near the west side of the parcel <u>Condition</u> – Good health and fair structure <u>Suitability for preservation</u> – Poor Remove the Pittosporum which is within the footprint of the proposed parking area.
26.Arroyo Willow	14 inch DBH	<u>Location</u> – Near the west side of the parcel on the boundary of parcel #03 – 153 - 30 <u>Condition</u> – Good health and poor structure <u>Suitability for preservation</u> – Poor Remove the Willow due to its location within the proposed parking areas.
27.Spanish Bayonet Yucca (Yucca aloifolia)	11 inch DBH	<u>Location</u> – Near the west side of the parcel <u>Condition</u> – Fair health and fair structure <u>Suitability for preservation</u> – Poor Remove the Yucca as it is located within the footprint of a proposed pedestrian walkway.
28.Eugenia	10.5 - 8	<u>Location</u> – Near the west side of the parcel <u>Condition</u> – Poor health and poor structure <u>Suitability for preservation</u> – Poor Remove the Eugenia because of its condition and location within the footprint of the proposed plaza area. * See additional information in the notes regarding Tree #21.
29.Eugenia	6 – 3 – 5 - 3 inch DBH	<u>Location</u> – Near the west side of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor Remove the Eugenia because of its condition and location within the footprint of the proposed plaza area. * See additional information in the notes regarding Tree #21.

TREE NO. AND SPECIES	SIZE	TREE CONDITION-DISCUSSION AND RECOMMENDATIONS
30. Bailey Acacia (Acacia baileyana)	17 inch DBH	<p><u>Location</u> – Near the west side of the parcel <u>Condition</u> – Fair health and poor structure <u>Suitability for preservation</u> – Poor</p> <p>Remove the acacia because it is located within the footprint of the proposed plaza area.</p>
31. Plum	26 inch DBH	<p><u>Location</u> – Near the west side of the parcel <u>Condition</u> – Good health and poor structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this tree. It is located within the footprint of the proposed plaza.</p>
32. Eugenia	20 inch base	<p><u>Location</u> – Near the west side of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove the Eugenia because of its condition and location within the footprint of the proposed plaza. * See additional information in the notes regarding Tree #21.</p>
33. Lemon (Citrus sp)	6 – 9 inch DBH	<p><u>Location</u> – Near the north west corner of the parcel <u>Condition</u> – Fair health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove the Lemon. It is located in the footprint of the proposed plaza.</p>
34. Eugenia	20 inch base 5 stems	<p><u>Location</u> – Near the north west corner of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove the Eugenia because of its condition and location within the footprint of the proposed plaza area.</p>
35. Eugenia	7 – 5 – 5 inch DBH	<p><u>Location</u> – Near the north west corner of the parcel <u>Condition</u> – Poor health and structure <u>Suitability for preservation</u> – Poor</p> <p>Remove the Eugenia because of its condition and location.</p>
36. Lemon Wood Pittosporum	8 – 16 inch DBH	<p><u>Location</u> – Near the north west corner of the parcel <u>Condition</u> – Good health and poor structure <u>Suitability for preservation</u> – Poor</p> <p>Remove the Pittosporum because it is located within the footprint of the proposed parking area.</p>
37. Eugenia	15 – 16 inch DBH	<p><u>Location</u> – Near the north west corner of the parcel <u>Condition</u> – Poor health and fair structure <u>Suitability for preservation</u> – Poor</p>

<u>TREE NO. AND SPECIES</u>	<u>SIZE</u>	<u>TREE CONDITION-DISCUSSION AND RECOMMENDATIONS</u>
37.Eugenia - Continued		Remove this large Eugenia due to its condition and location within the footprint of the proposed parking area. * See additional information in the notes regarding Tree #21.
38.Eugenia	11 - 5.5 - 4 inch DBH	<p><u>Location</u> – Near the north west corner of the parcel <u>Condition</u> – Poor health and fair structure <u>Suitability for preservation</u> – Poor</p> <p>Remove this Eugenia due to its location within the footprint of the proposed parking area. * See additional information in the notes regarding Tree #21.</p>
39.Coast Redwood	36 Inch DBH	<p><u>Location</u> – Near the north west corner of the parcel in between the existing parking spaces adjacent to parcel #030 – 153 – 98. <u>Condition</u> – Good health and structure <u>Suitability for preservation</u> – Good</p> <p>Retain and prune this tree. Raise the canopy to allow for more space and view access under the canopy (between eight and 10 feet above grade).</p> <p>I recommend that great care is taken to protect the surface roots of this tree during the proposed renovation of the surrounding parking areas and the development of the adjacent plaza. I have identified an area of critical root zone that extends out 20 feet on all sides of the base of the trunk of this tree (root collar at grade). Care must be taken within the critical root zone area to minimize root loss and damage resulting from cutting, soil compaction and impaired gas exchange through the paving surface.</p> <p>I recommend the removal of the two of the existing parking spaces that are situated on either side of this tree. The roots in close proximity to the asphalt surface are vulnerable to construction damage which could negatively impact the future health and stability of this tree. The removal of the two parking spaces will ensure that the larger roots within 10 feet of the east and west sides of the base of the trunk are preserved. I also recommend that consideration be given to allowing for an additional 10 feet of the existing asphalt area on the north side of this tree to be removed to protect an even larger area of the root structure. This open area should be developed as a mulched landscape to provide an optimal root environment that allows access for water and gas exchange.</p> <p>I also recommend that a 10 foot wide concrete surface is utilized in conjunction with the proposed mulched landscape that will surround this tree. The concrete surface should extend 10 feet out into the surrounding parking and driveway areas from the outside edge of the mulched landscape area, thereby effectively addressing the requirements of the 20 foot critical root zone.</p>

<u>TREE NO. AND SPECIES</u>	<u>SIZE</u>	<u>TREE CONDITION-DISCUSSION AND RECOMMENDATIONS</u>
		<p>The utilization of a permeable reinforced concrete surface will allow for a minimal base excavation and improved gas exchange when compared to an asphalt surface.</p> <p>Tree protection zone fencing should be installed before any demolition, clearing and grubbing work proceeds. The fence should be placed at the canopy drip line (or as far away from the base of the trunk as possible) and be maintained in good repair for the duration of the construction period.</p>
40.Coast Redwood	40 Inch DBH	<p><u>Location</u> – This tree is located at the south end of Parcel #030 – 153 – 32 and is situated next to the east boundary of the park property</p> <p><u>Condition</u> – Fair/good health and fair structure</p> <p><u>Suitability for preservation</u> – Good</p> <p>This large tree is located on an adjacent parcel. Care should be taken during the planning and construction phases of this project to ensure that the critical root zone under the west side of the tree canopy is preserved.</p> <p>Tree protection zone fencing should be installed before any demolition, clearing and grubbing work proceeds. The fence should be placed at the canopy drip line and be maintained in good repair for the duration of the construction period.</p>
41.Avocado (Persea Americana)	24 inch DBH	<p><u>Location</u> – This tree is located on Parcel #030 – 151 – 22. It is adjacent to the east side of the project and is on private property (the land of Howard Watts).</p> <p><u>Condition</u> – fair health and poor structure</p> <p><u>Suitability for preservation</u> – Poor</p> <p>I recommend that this tree should be removed because it is a poor specimen and it is competing with the lower canopy of the adjacent Coast Redwood (tree #40.).</p>



COUNTY OF SANTA CRUZ
DEPARTMENT OF PUBLIC WORKS

701 Ocean Street – 4th Floor, Santa Cruz, CA 95060
Phone: (831) 454-2160 Fax: (831) 454-2385

GRADING REPORT

FOR

HEART OF SOQUEL
CONCEPTUAL MASTER PLAN

RDA JOB NO. 88217

June 30, 2011

PREPARED BY:

CASEY CARLSON, CIVIL ENGINEER
PUBLIC WORKS – REDEVELOPMENT DIVISION

BASIS OF DESIGN:

1. COUNTY DESIGN CRITERIA, JUNE 2006 EDITION
2. PROJECT PLANS & SPECIFICATIONS

ATTACHMENT 9

1.0 INTRODUCTION

The proposed project is located southeast of the intersection of Soquel Drive and Porter Street in Soquel. The primary project goal is to improve existing parking and circulation, and provide a public space for gatherings and community events. The project has several phases and proposes development of several parcels including some private parking lot rehabilitation. The primary project area is parcel 030-153-24, this parcel is currently a former mobile home site; the project proposes to convert this site into a public park. The park site will constitute the majority of the project grading, most other work consists of replacement or rehabilitation of existing parking lots on grade and a pedestrian DG pathway to be built on existing grade. The project also proposes to relocate and expand an existing parking circulation ramp, some grading and retaining wall relocation will be required in order to accomplish this work. Calculations are provided for both the site grading and the parking ramp relocation.

2.0 BASIS OF CALCULATIONS

Site Grading Quantities were determined via Autocad Civil 3D 2009 using the Grid Method of Volume Calculation. An exhibit showing the breakdown of site cut and fill depths and locations is included in this report.

Parking Lot Ramp Grading Quantities were determined individually using the average end area method, exhibits showing this calculation are included in this report.

3.0 SUMMARY

Project Grading Summary	
Item Description	Quantity
Site Cut	760 CY
Site Fill	10 CY
North Wall & Ramp Cut	0 CY
North Wall & Ramp Fill	20 CY
South Wall & Ramp Cut	50 CY
South Wall & Ramp Fill	50 CY

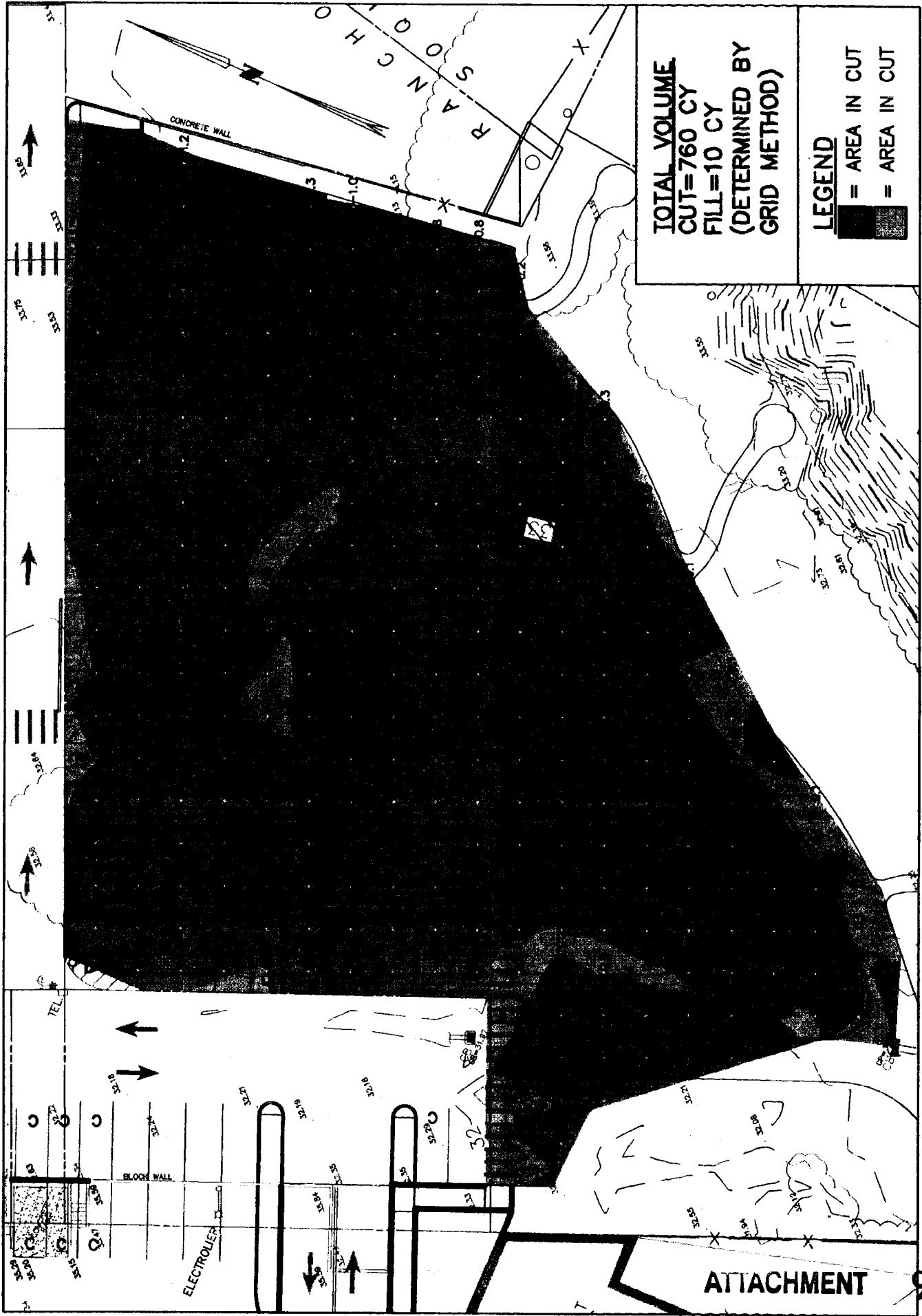
Project Grading Totals	
Item Description	Quantity
Total Project Cut	810 CY
Total Project Fill	80 CY
Net Project Grading (Cut)	730 CY

4.0 CONCLUSIONS

The overall grading quantities indicate that the site will generate excess soil (cut). All excess soil should be off-hauled from the site and disposed of at a County Landfill or other appropriate facility.

The site will also require demolition of some existing pavement surfaces, which will generate excess material in the form of concrete, asphalt, and baserock. All excess pavement waste material should be off-hauled from the site and disposed of at a landfill or other appropriate facility.

The project is located within a known floodway of Soquel Creek. The grading calculations show that no net fill will result from project improvements. The project proposes a significant reduction in site imperviousness, and the general existing site drainage patterns will remain unaltered. Also, as part of the demolition, three existing buildings currently in the floodway will be removed. For these reasons, the project should not cause a rise in the Base Flood Elevation of Soquel Creek, nor adversely alter flow conditions.

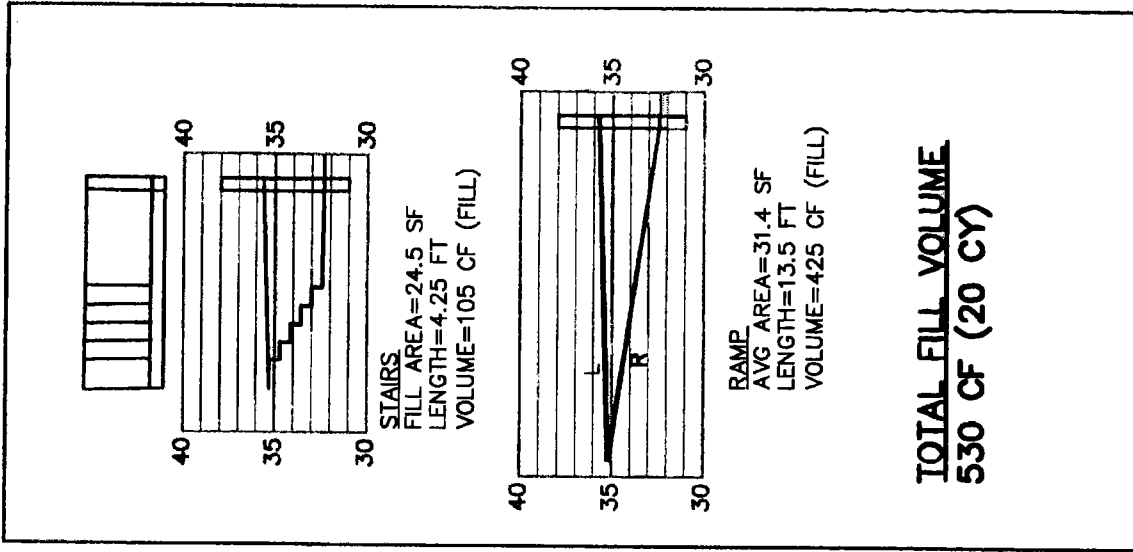
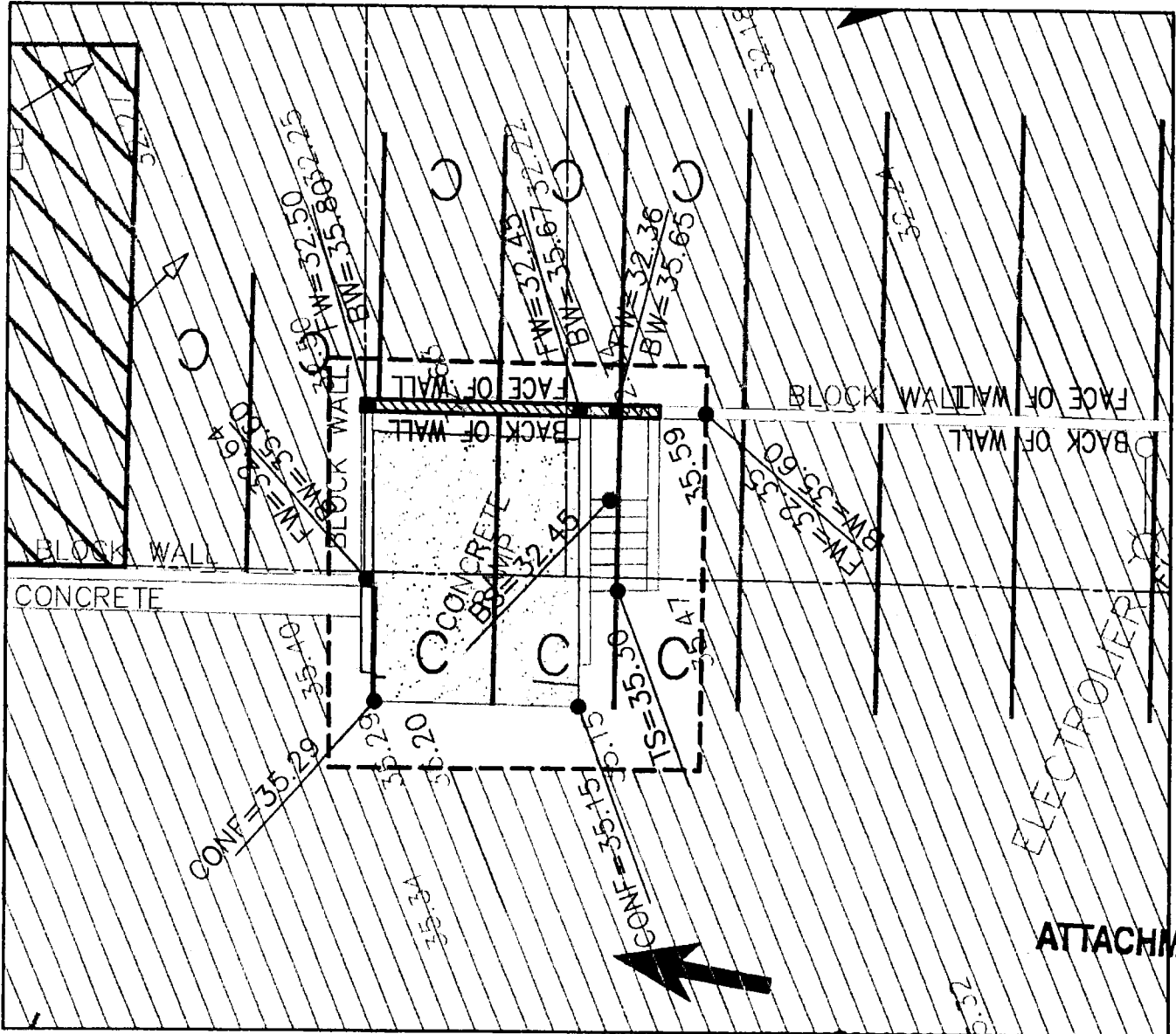


TOTAL VOLUME
CUT=760 CY
FILL=10 CY
(DETERMINED BY
GRID METHOD)

LEGEND
 [Shaded Area] = AREA IN CUT
 [Hatched Area] = AREA IN CUT

HEART OF SOQUEL
SITE GRADING EXHIBIT
 SCALE: 1"=30'

ATTACHMENT 9



**HEART OF SOQUEL
 NORTH WALL GRADING EXHIBIT**

SCALE: 1"=10'

COUNTY OF SANTA CRUZ
DEPARTMENT OF PUBLIC WORKS
INTER-OFFICE CORRESPONDENCE

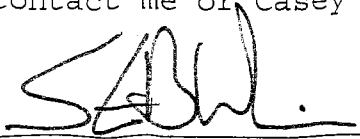
DATE: July 15, 2011
TO: Sheryl Bailey, Redevelopment Agency
FROM: Department of Public Works
SUBJECT: HEART OF SOQUEL FLOOD STATEMENT

Per your request, we have prepared this statement regarding the potential flooding impacts due to the proposed Heart of Soquel Project. The proposed project is located in a Federal Emergency Management Agency Flood Zone AE, the floodway of Soquel Creek. The purpose of this letter is to address any concerns regarding potential flood level rise due to the proposed project.

The Heart of Soquel Project encompasses several parcels, some County owned, and some under agreement with private owners. Project parcels include APNs 030-153-03, -05, -07, -09, -10, -25, -26, -30, and -31. The main portion of the project will involve the conversion of a retired mobile home site (APN 010-153-24) into a public park; the bulk of the grading for this project will be done on this parcel. The remaining project parcels are primarily parking lot rehabilitation or access pathways built on existing grade. An existing parking routing ramp will be relocated to improve parking access and public safety, this work requires some wall replacement, which occurs on parcels 030-153-07, -31, and -32.

A project grading report has been produced. The grading report shows that no net fill will result from project improvements. The project proposes a significant reduction in site imperviousness, and the general existing site drainage patterns will remain unaltered. Also, as part of the demolition, three existing buildings currently in the floodway will be removed. For these reasons, the project is not anticipated to cause a rise in the Base Flood Elevation of Soquel Creek, nor adversely affect flow conditions.

If you have any questions regarding this matter, please contact me or Casey Carlson of my staff at extension 2160.


JOHN J. PRESLEIGH
Director of Public Works

RECEIVED

JUL 15 2011

REDEVELOPMENT
AGENCY

ATTACHMENT 10

CC:lh

heartofsoqmemolh.doc

MEMORANDUM

Date: August 27, 2013
To: Sheryl Bailey, County of Santa Cruz
From: Kevin Chen & Matt Haynes, Fehr & Peers
Subject: ***Final Focused Transportation Impact Analysis for the Heart of Soquel Master Plan in Soquel, California***

SJ11-1266

At your request, due to the changes in the numbers of anticipated attendees for weekday and Saturday weekend events, this memorandum replaces in its entirety our previous memorandum dated November 4, 2011.

This memorandum presents the results of the transportation impact analysis (TIA) for the redevelopment of the Heart of Soquel Master Plan area located on the southeast corner of Soquel Drive/Porter Street in unincorporated Santa Cruz County. The Heart of Soquel area is located in the southeast quadrant of Soquel Village and is bounded by Soquel Creek to the east, Porter Street to the west, Soquel Drive to the north, and commercial developments to the south.

We understand the proposed Master Plan (described as the "project" in this document) will convert the existing mobile home park into a small public park with a public parking area. The 1.2 acre park will consist of a community plaza (performance and seating area and other small miscellaneous park improvements such as picnic tables, benches, interpretive signage, and a drinking fountain), a bocce ball court, restoration of planting in the riparian corridor, a small lawn area, a pedestrian trail parallel to Soquel Creek and associated landscaping and parking, included an area that is reserved for future parking should it be needed and an interim playground feature. **Figure 1** shows the project location and the surrounding roadway network. **Figure 2** shows the schematic site plan of the project.

The purpose of this study is to identify and address transportation and circulation issues associated with the project, including:

- Project automobile trip estimates,
- Project parking demand evaluation, and
- Site access and circulation review for automobiles, bicycles, pedestrians and transit users.

In addition to the day-to-day operation as a public park, the Heart of Soquel is expected to host other Park Permitted Uses (events) during weekday evenings and Saturdays. While this study addresses both conditions, Saturday events are expected to generate higher levels of activity than the typical days and are thus evaluated in greater detail.

PROJECT TRIP ESTIMATES

The amount of traffic generated by the redevelopment under a typical day-to-day and event conditions was estimated using standard transportation engineering practices.

Typical Day Operation

Project trip generation was estimated by comparing using data from two sources: 1) trip generation rates published by the Institute of Transportation Engineers (ITE), and 2) PM trip generation surveys at two local parks in Santa Cruz County.

The amount of new vehicular traffic estimated by applying daily and peak hour trip rates for a County Park (ITE Land Use 412) published in *Trip Generation* (ITE, 8th Edition) is based on a small sample of national locations and the average size of the surveyed sites is substantially larger than the Heart of Soquel suggesting that the use of locally validated data is more appropriate.

In September 2008, Fehr & Peers conducted field observations at Jose Avenue Park and Jade Street Park located in Santa Cruz County. The two parks were observed during a typical afternoon and an average PM peak hour trip generation rate was developed from the data. The rate and calculated project trip generation are shown in **Table 1**.

TABLE 1 LOCAL COUNTY PARK SURVEY TRIP GENERATION ESTIMATES			
Land Use	Size	Survey	Weekday PM Peak
County Park (ITE 412)	1.2 acre	Rates	6.68
		Trips	8
Sources: Fehr & Peers, September 2008.			

Using the local survey trip generation rate, the evening peak hour would generate eight (8) project trips, which is lower than the minimum County requirement of 20 peak hour project trips for a detailed transportation analysis. Thus, this level of trips is not expected to significantly affect local traffic conditions during typical weekday peak hours.

Weekday Evening Event

Based on the Santa Cruz County Parks Division (Parks), the new community plaza is expected to attract approximately 50-200 people for evening community events such as outdoor concerts or movie nights. Additionally, day time events such as a Farmers Market may also occur. However, a weekday evening event would have more traffic and parking impact and thus was selected for the analysis. Weekday evening events would generally start after 6:00 PM to avoid adding new traffic during commute hours.

The hourly traffic volumes generated by these weekday evening events are dependent on several factors, including the new community plaza's seating capacity; percent of attendees and event employees/performers arriving by private vehicle or being dropped-off/ picked-up; the average

auto occupancy of attendees attending events; the number of staff and their travel characteristics; and traffic departure and arrival patterns.

Local data reflecting the modes of travel to/from an event, or the modal split, is not readily available. Based on the 2006 Santa Cruz County Regional Transportation Commission Monitoring Report, 82 percent of commuters traveled by private vehicles, 4 percent by walks/bicycles, 2 percent by public transit and 12 percent by other modes. While an event at this project's location would differ somewhat from these percentages, they serve as a good basis for the mode split assumptions for this study. Furthermore, the mode split assumptions were supplemented with Federal Highway Administration survey results of several other events that show a higher non-auto mode split. Several ITE publications¹ were reviewed to determine typical auto occupancies for events. ITE's *Traffic Considerations for Special Events*² presents auto occupancy information from eight event locations, which generally range between 2.5 and 3.5 persons per vehicle. A vehicle occupancy rate of 2.5 was used to present a conservative assumption.

Based on this data and discussion with SCCRDA, the trip generation assumptions for a weekday evening event are as follows:

- 85 percent of attendees arrive in private vehicles to be parked on or near the site
- 15 percent of attendees arrive via walk/bike/transit
- 2.5 attendees per parked vehicle
- Number of event staff is 10 percent of total attendees
- 1.5 staff per parked vehicle

The arrival and departure patterns were estimated based on information presented in ITE documents and data from other event centers. **Table 2** lists the expected percentage of attendees arriving during each 30-minute interval for a weekday evening event that would begin at 7:00 PM. These arrival patterns indicate that traffic arriving for an event is spread out over several hours, beginning well in advance of the event, and extending beyond the start of the event. Based on these arrival patterns, an event with a 7:00 PM start time would have 80 percent of its traffic arriving between 6:00 and 7:00 PM.

¹ ITE publications consulted, included *Traffic Operations Planning for Stadia and Arenas* (February 1994), *Traffic Considerations for Special Events* (1976), and the *Transportation and Traffic Engineering Handbook* (Second Edition, 1982).

² Studies performed at the Los Angeles Coliseum, Anaheim Stadium, Staples Arena in Los Angeles, and Raley's Field in Sacramento were considered, as were analyses conducted for a proposed concert amphitheater in the Sacramento area.

TABLE 2 WEEKDAY EVENT ARRIVALS (7 PM START)	
Time	% of Total
5:00–5:30 PM	0%
5:30–6:00 PM	10%
6:00–6:30 PM	35%
6:30–7:00 PM	45%
7:00–7:30 PM	10%
Total	100%

Sources: Traffic Operations Planning for Stadia and Arenas (February 1994)
 Traffic Considerations for Special Events (1976)
 Transportation and Traffic Engineering Handbook (Second Edition, 1982)

Post-event departure patterns of attendees are much more compressed than arrival patterns, because most attendees will stay until the end of the event and then depart within one hour. The departure patterns presented in **Table 3** assume a 10:00 PM event conclusion.

TABLE 3 WEEKDAY EVENT DEPARTURES (10 PM FINISH)	
Time	% of Total
9:30–10:00 PM	0%
10:00–10:30 PM	60%
10:30–11:00 PM	30%
11:00–11:30 PM	10%
Total	100%

Sources: Traffic Operations Planning for Stadia and Arenas (February 1994)
 Traffic Considerations for Special Events (1976)
 Transportation and Traffic Engineering Handbook (Second Edition, 1982)

Based on this data, the arrival and departure characteristics assumptions for a weekday evening event are as follows:

- 80 percent of attendees arrive within hour before show
- 90 percent of attendees depart within hour after show
- 30 percent of event staff arrive within hour before show
- 30 percent of event staff depart within hour after show

Using these assumptions, trip generation rates for a weekday evening event were developed, as shown in **Table 4**. These rates were then applied to the expected capacity to estimate daily and peak hour trip generation. As shown in **Table 5**, the weekday event is expected to generate

approximately 163 daily trips, including 58 trips during the peak hour before an event and 65 trips during the peak hour after an event.

TABLE 4 WEEKDAY EVENT TRIP GENERATION RATES ¹ (FRIDAY EVENING MAXIMUM 200 ATTENDEES)							
Population Segment	Daily ²	PM Peak Hour Before Event ²			PM Peak Hour After Event ²		
		Inbound	Outbound	Total	Inbound	Outbound	Total
Parking Attendees	0.80	0.32	0.00	0.32	0.00	0.36	0.36
Event Staff	1.33	0.20	0.00	0.20	0.00	0.20	0.20

Note

1. Rates per person.
2. Rates were derived based on assumed occupancy rate. (e.g. Daily Parking Attendees Trip Gen Rate = 1 / 2.5 * 2, Peak hour Parking Attendees Trip Gen Rate = 1 / 2.5 * 0.80)

Source: Fehr & Peers, June 2013.

TABLE 5 WEEKDAY EVENT TRIP GENERATION (FRIDAY EVENING MAXIMUM 200 ATTENDEES)								
Population Segment		Daily	PM Peak Hour Before Event			PM Peak Hour After Event		
			Inbound	Outbound	Total	Inbound	Outbound	Total
170 ¹	Parking Attendees	136	54	0	54	0	61	61
20	Event Staff	27	4	0	4	0	4	4
Total		163	58	0	58	0	65	65

Note:

1. This study assumed 15 percent (30 attendees) would arrive via walk/bike/transit.

Source: Fehr & Peers, June 2013.

Saturday Event

On some Saturdays, the SCCRDA expects larger daily events in the Heart of Soquel, including art and wine festivals, farmer's markets, and other celebratory events. Based on the attendance of similar past events provided by the SCCRDA, as well as secondary research results, Saturday events are expected to attract crowds ranging from 50-500 people. Similar to the weekday events, the trip generation assumptions for a larger Saturday event are as follows:

- 85 percent of attendees arrive in private vehicles to be parked
- 15 percent of attendees arrive via walk/bike/transit

- 2.5 attendees per parked vehicle
- Number of event staff is 5 percent of total attendees
- 1.5 staff per parked vehicle

Unlike a weekday event, attendees to a Saturday event are expected to arrive and depart throughout the day. **Table 6** illustrates the assumed daily arrival and departure percentage of a typical Saturday event, with the peak hour likely to occur at 12:00 PM - 1:00PM.

Time of Day	Attendees Percent		Staffs Percent	
	In	Out	In	Out
Before 8:00 AM	0%	0%	80%	0%
8:00-9:00 AM	7%	0%	15%	0%
9:00-10:00 AM	9%	2%	0%	0%
10:00-11:00 AM	13%	5%	0%	0%
11:00-12:00 PM	16%	10%	0%	0%
12:00-1:00 PM	20%	20%	5%	5%
1:00-2:00 PM	17%	17%	0%	0%
2:00-3:00 PM	11%	17%	0%	0%
3:00-4:00 PM	5%	14%	0%	0%
4:00-5:00 PM	2%	9%	0%	15%
After 5:00 PM	0%	6%	0%	80%
Total	100%	100%	100%	100%

Source: Fehr & Peers, July 2011.

Based on this data, the arrival and departure characteristics assumptions for a Saturday event are as follows:

- 20 percent of attendee activity occurs in the peak hour of 12:00 PM – 1 :00 PM (activity level would be less during all other peak hours)
- 50 percent inbound and 50 percent outbound spectator split during the peak hour
- 5 percent of event staff activity occurs during the peak hour

- 50 percent inbound and 50 percent outbound staff split during the peak hour
- Event would occur on a weekend with Saturday attendance higher than Sunday

Using the assumptions listed above, we calculated trip generation rates for a Saturday event as shown in **Table 7**. These rates were applied to the maximum attendance numbers to estimate daily and peak hour trip generation. As shown in **Table 7**, a Saturday event with 500 attendees is expected to generate approximately 373 daily vehicle trips, including 70 trips during the peak hour of 12:00 PM – 1:00 PM.

Population Segment		Vehicle Trip Rates ¹				Trip Generation			
		Daily	Peak Hour			Daily	Peak Hour		
			In	Out	Total		In	Out	Total
425 ²	Parking Attendees	0.80	0.08	0.08	0.16	340	34	34	68
25	Event Staff	1.33	0.03	0.03	0.06	33	1	1	2
Total						373	35	35	70

Note:

1. Rates were derived based on assumed occupancy rate. (e.g. Daily Parking Attendees Trip Gen Rate = 1 / 2.5 * 2, Peak hour Parking Attendees Trip Gen Rate = 1 / 2.5 * 0.20)
2. This study assumed 15 percent (75 attendees) would arrive via walk/bike/transit.

Source: Fehr & Peers, June 2013.

TRIP DISTRIBUTION AND ASSIGNMENT

Both weekday and Saturday event traffic was assigned to the roadway network based on the locations of complementary land uses, existing travel patterns in the area, and the locations of the project site driveway. The results are summarized in **Table 8**.

TABLE 8 PROJECT TRIP DISTRIBUTION			
Roadway	Percentage of Total Trips	Weekday Evening Event	Saturday Event
Soquel Drive east of Porter Street	60%	98	224
Porter Street south of Soquel Drive	40%	65	149
Total	100%	163	373
Note: Source: <i>Fehr & Peers</i> , June 2013.			

In order to present a "worst case" evaluation of the immediate roadway streets, we assumed that all event traffic would be destined to/depart from the project site.

ROADWAY CAPACITY EVALUATION

Operations of immediate adjacent roadway segments were evaluated by comparing the daily volume to the capacity to develop a volume-to-capacity (V/C) ratio. The V/C ratio determines the operating condition of the roadway. The capacity of each segment is based on the type of facility (freeway, expressway, arterial, or collector), number of lanes, type of traffic control at the downstream intersection, and maximum per-lane capacities from the Santa Cruz County General Plan. The V/C ratios of roadway segments with the proposed project traffic are shown in Table 9. Table 9 indicates that the daily existing with Saturday event traffic is not expected to exceed the roadway capacity.

TABLE 9 EXISTING PLUS PROJECT ROADWAY SEGMENT OPERATION CAPACITY							
Roadway	Facility Type	# Lanes	Daily Capacity ¹	Existing ADT ²	Existing Plus Saturday Events ADT	V/C ³	Exceeds Capacity?
Soquel Drive	Major Arterial	4	20,000	15,495	15,719	0.78	No
Porter Street	Minor Arterial	3	15,000	11,112	11,261	0.75	No
Note: 1. Daily Capacity (>15,000) obtained from County of Santa Cruz General Plan (1994) 2. Average Daily Traffic (ADT) obtained from Santa Cruz County Regional Transportation Commission (July 2011) 3. V/C < 1: below capacity, V/C = 1: at capacity, V/C > 1: over capacity Source: <i>Fehr & Peers</i> , June 2013.							

PARKING EVALUATION

The following section presents the parking analysis for the following two (2) conditions:

- Weekday Events
- Saturday Events

Parking demand for weekday evening and Saturday events was calculated using the trip generation assumptions detailed above. Using these assumptions as well as the approximate cumulative arrival and departure percentages of attendees and staff at the events, we calculated total parking demand as shown in Tables 10 and 11.

TABLE 10 WEEKDAY EVENT VEHICLE ARRIVAL PATTERN AND PARKING DEMAND (FRIDAY EVENING MAXIMUM 200 ATTENDEES)									
Time of Day	Attendees				Staff				Total
	Percent		Vehicles		Percent		Vehicles		
	In	Out	In	Out	In	Out	In	Out	
5:00-6:00 PM	10%	0%	7	0	70%	0%	1	0	8
6:00-7:00 PM	80%	0%	54	0	30%	0%	0	0	54
7:00-8:00 PM	10%	0%	7	0	0%	0%	0	0	7
Total	100%	0%	68	0	100%	0%	1	0	69

Note:
Bold text indicates maximum demand.
 Source: Fehr & Peers, June 2013.

**TABLE 11
 WEEKEND EVENT VEHICLE ARRIVAL PATTERN AND PARKING DEMAND
 (SATURDAY MAXIMUM 500 ATTENDEES)**

Time of Day	Attendees				Staff				Total ¹
	Percent		Vehicles		Percent		Vehicles		
	In	Out	In [A _n]	Out [B _n]	In	Out	In [C _n]	Out [D _n]	
Before 8:00 AM	0%	0%	0	0	80%	0%	13	0	13
8:00-9:00 AM	7%	0%	12	0	15%	0%	2	0	27
9:00-10:00 AM	9%	2%	15	3	0%	0%	0	0	39
10:00-11:00 AM	13%	5%	22	9	0%	0%	0	0	52
11:00-12:00 PM	16%	10%	27	17	0%	0%	0	0	62
12:00-1:00 PM	20%	20%	34	34	5%	5%	1	1	62
1:00-2:00 PM	17%	17%	29	29	0%	0%	0	0	62
2:00-3:00 PM	11%	17%	19	29	0%	0%	0	0	52
3:00-4:00 PM	5%	14%	9	24	0%	0%	0	0	37
4:00-5:00 PM	2%	9%	3	15	0%	15%	0	2	23
After 5:00 PM	0%	6%	0	10	0%	80%	0	13	0
Total	100%	100%	170	170	100%	100%	16	16	-

Note:

1. Total parked vehicles = [A_n] + [C_n] - [B_n] - [D_n], where n = cumulative hourly demand through the day.

Bold text indicates maximum demand.

Source: Fehr & Peers, June 2013.

As shown in **Tables 10 and 11**, approximately 69 parking spaces are needed for a weekday evening event and 62 parking spaces are needed for a Saturday event. Typically, a five (5) percent circulation efficiency factor is applied to the total parking demand to ensure sufficient parking and that attendees would not have to circulate excessively to find a parking location. A five (5) percent circulation factor increases the demand to 72 spaces for a weekday event and 65 spaces for a Saturday event. The project proposes to construct 35 spaces on-site thus, 37 and 30 off-site parking spaces are needed for weekday evening and Saturday events, respectively.

A recent parking study conducted by the former Santa Cruz County Redevelopment Agency (SCCRDA) indicated that the parking supply proposed by the Heart of Soquel Master Plan, as identified in **Figure 2**, would satisfy the parking demand generated by the business parcels and

the typical day-to-day operation of the new park under the Master Plan. The most recent site plan (dated May 4, 2012) includes 35 parking spaces on the project site of which four (4) are ADA accessible spaces. To accommodate the additional demand generated by the weekday and Saturday events, six (6) off-site parking lots were identified within a ¼-mile radius from the Heart of Soquel in this analysis. These off-site lots provide 296 parking spaces. **Figure 3** illustrates the locations of the public parking lots.

The SCCRDA conducted two hourly parking occupancy surveys in June 2011 by SCCRDA to determine the existing occupancy rate. The first survey, conducted on a Friday evening between the hours of 6:00 PM and 8:00 PM, included all off-site lots within a ¼-mile radius. The second survey, conducted on a Saturday between the hours of 8:00 AM and 6:00 PM, included all six lots. **Table 12** summarizes the total number of existing parking spaces by locations and existing parking demand during the weekday and Saturday parking demand peak hours.

Location	Distance From Heart of Soquel	Lot Capacity	Week Day Event Peak Hour Demand (7:00 PM - 8:00 PM)		Saturday Event Peak Hour Demand (12:00PM - 1:00PM)	
			Existing Demand	Existing Surplus	Existing Demand	Existing Surplus
Lighthouse Public Parking Lot	Within ¼-mile	47	8	39	9	38
Daubenbiss Public Parking Lot	Within ¼-mile	56	49	7	17	39
Porter Street Public Parking Lot	Within ¼-mile	29	5	24	12	17
Cross Point Church Lot	Within ¼-mile	48	1	47	1	47
Soquel Elementary Lot	Within ¼-mile	43	45	2	18	25
Congregational Church Lot	Within ¼-mile	73	10	63	6	67
Total		296	118	178	63	233

Source: County of Santa Cruz Redevelopment Agency, 2011.

Based on the survey results, the parking facilities are not fully occupied on a weeknight evening. The hourly vehicle occupancy rates range from a low of 23 percent at 8:00 PM to a high of 40 percent at 7:00 PM. That equates to a total surplus of 178 spaces at 7:00 PM and 228 spaces at 8:00 PM, all above the total demand of 37 spaces for a weekday evening event.

Similarly, the results show available capacity in parking lots on Saturday. Based on the above parking analysis assumptions, events are likely to peak between the hours of 12:00 PM to 2:00 PM. The hourly parking lot occupancy rate at 12:00 PM is 21 percent, which equates to 233 vacant spaces. The existing Saturday supply can accommodate the additional parking demand (30 spaces) during an event at the Heart of Soquel. During an event, there would be a surplus of 203spaces at 12:00 PM. See attachment for complete survey results.

In summary, there is adequate off-site parking within ¼ mile, a walk-able distance for both the weekday and Saturday events.

SCCRDA should ensure way finding signage is used on event days near the off-site parking lots to guide attendees to parking lots with available capacity.

SITE ACCESS AND ON-SITE CIRCULATION EVALUATION

Site Access

Vehicular

Vehicular access to the site would be provided by driveways on Soquel Drive and Porter Street. Vehicles on Soquel Drive would access the site via two one-way entrance driveways next to the existing Tara Redwood School and the post office buildings. Additionally, Play It Again Sports has a one-way exit, right-turn only driveway located at the northeastern limit of the development. Vehicles on Porter Street would access the site via a two-way driveway approximately 250-feet south of Soquel Drive/Porter Street. With development of the Master Plan, access to the existing antique store on the southeast corner of Soquel Drive/Porter Street would be isolated from the park and would only be accessible from its current two-way driveway approximately 115-feet south of Soquel Drive/Porter Street.

Pedestrians, Bicycles and Transit

Pedestrians, transit users, and bicyclists would access site via a series of bicycle and pedestrian paths. Continuous bicycle lanes/routes are available on Soquel Drive and Porter Street to provide connectivity between the Heart of Soquel and other major roadways. Continuous sidewalks are available on Soquel Drive and Porter Street with the following exceptions:

- Southern side of Soquel Drive east of Daubenbiss Avenue
- Eastern side of Old San Jose Road north of Oneil Lane

Crosswalks are available at Soquel Drive/Porter Street to provide connections to all major directions.

On-Site Circulation

Vehicle Circulation

A proposed two-way internal circulation driveway would provide access to on-site parking spaces and the new park. The western end of the two-way circulation driveway would connect with an existing one-way circulation parking lot. The project's proposed circulation will create two way parking and traffic circulation. The eastern end of the two-way circulation roadway would connect with another existing two-way circulation parking lot. The new connections to these two existing lots will allow vehicles to turn around. Under the Master Plan, a proposed isolated one-way circulation roadway would serve the antique store. No vehicular access would be available between the antique store and the park. All circulation roadways would be provided with minimum drive aisle widths of 24 feet for two-way circulation and 12 feet for one-way circulation or greater to accommodate double-loaded aisle parking designs in accordance to County Code 13.11.074(a). Loading zones would be provided next to all accessible (ADA) parking spaces. All

ADA, regular, and compact parking space dimensions are designed to standard industry dimensions in accordance with County Code 13.10.554(a).

The County has expressed concern about existing cut-through traffic under the current circulation layout, which we confirmed through field observations. The new circulation layout will likely reduce cut-through traffic with more turns and low travel speeds but not completely eliminate it due to the high commute peak hour demand at the intersection of Soquel Drive/Porter Street.

Proper signage should be installed to make drivers aware of the two one-way entrance driveways on Soquel Drive.

Pedestrians and Bicycles

Paved pedestrian walkways would provide connectivity within the Heart of Soquel. The walkways would provide sufficient connections between the new community plaza, business parcels along Soquel Drive, and the external bicycle and pedestrian facilities on Soquel Drive and Porter Street. The walkways would also channelize the pedestrians around the development and away from traveling vehicles. High-visibility crosswalks would designate crossing locations to cross the drive aisles safely. A new trail, approximately 8-10 feet wide and designated for pedestrians and bicyclists would provide additional pedestrian/bicycle access from Porter Street to the new community plaza.

The Santa Cruz County Bicycle Plan recommends "convenient, secure" bicycle parking and that all public facilities should provide them to encourage riders. Bicycle parking is currently not shown in the site plan and should be considered. Permanent bicycle parking racks should be provided to accommodate approximately 5-10 bicycles. During events, we recommend attended bicycle parking service and designated temporary bike parking areas be considered to provide additional bicycle parking supply. The San Francisco Municipal Transportation Agency (SFMTA), Portland Bureau of Transportation, and other agencies recommend a reserved space that can accommodate a minimum of two percent of the total expected crowd attendance, or 10 bicycles parking spaces based on 500 expected event attendees. Proper lighting should be provided to improve the security of bike parking areas. We recommend the "Optional Parking Lot Expansion" area south of the "Turn Around Area" be developed to accommodate event bicycle parking. Parking valet service such as People Power can accommodate 30 bicycles in one (1) to two (2) vehicle parking spaces. **Figure 4** illustrates the recommendations on the site plan provided.

CONCLUSION

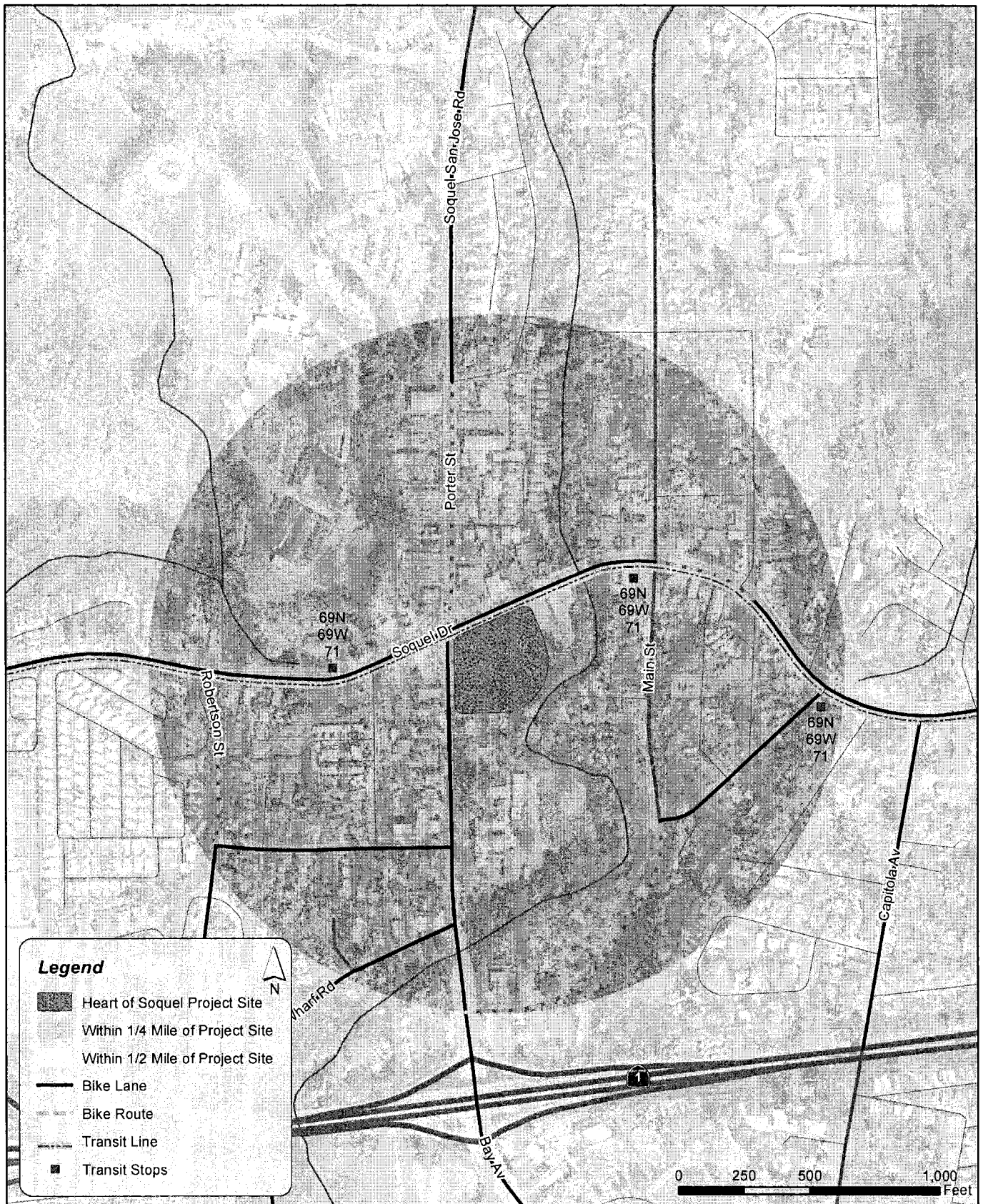
Based on this transportation impact analysis, the proposed Heart of Soquel project does not negatively impact the surrounding roadways for regular day to day use, or the proposed weekday evening or the Saturday events, improves vehicle parking and circulation, provides an adequate number of ADA accessible parking spaces on site, provides or has available adequate parking within ¼ mile (a walkable distance), and improves bicycle and pedestrian access and safety.

In summary, the above analysis shows that the number of trips and available parking is adequate for the proposed park and events. The Heart of Soquel redevelopment is expected to add fewer than 8 peak hour vehicle trips to the surrounding roadway system during a typical weekday and will have no impacts to the surrounding transportation networks during regular commute peak hours. Weekday evening events that occur after 7:00 PM are expected to add 163 daily vehicle trips and 58 trips during the peak hours.

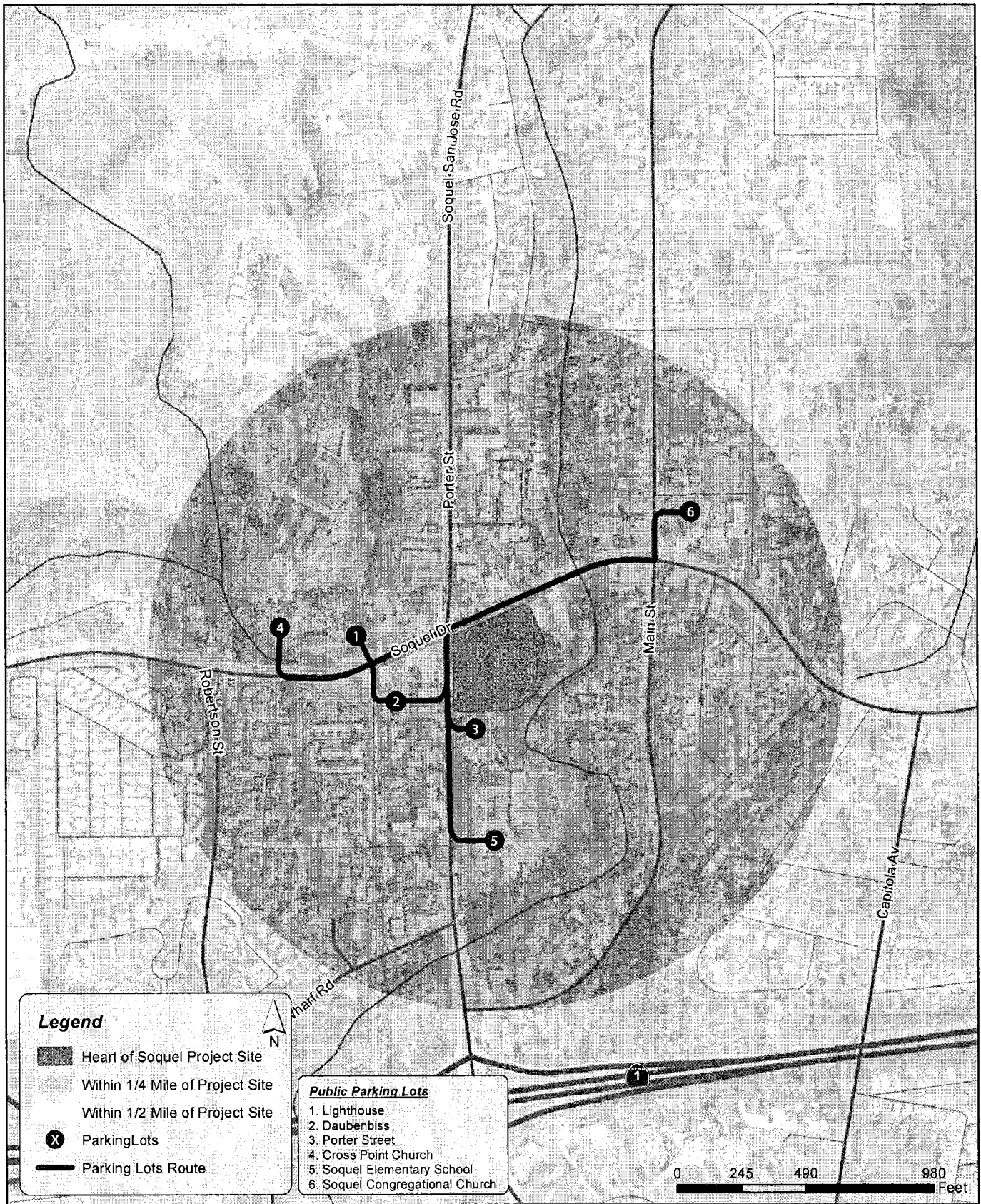
Saturday events are expected to generate up to 373 daily trips and 70 peak hour vehicle trips, which would occur between 12:00 PM and 1:00 PM. The additional event traffic is not expected to exceed the roadway capacity and deteriorate roadway operations. Additionally, we expect the identified off-site parking lots will accommodate the added parking demand due to weekday and Saturday events.

Weekday evening events are expected to require 69 parking spaces. Saturday events will require a maximum of 56 parking spaces. Based on recent survey results, six local off-site parking lots within a ¼-mile radius from the Heart of Soquel (with 233 surplus parking spaces) will adequately accommodate the additional parking demand.

Figures

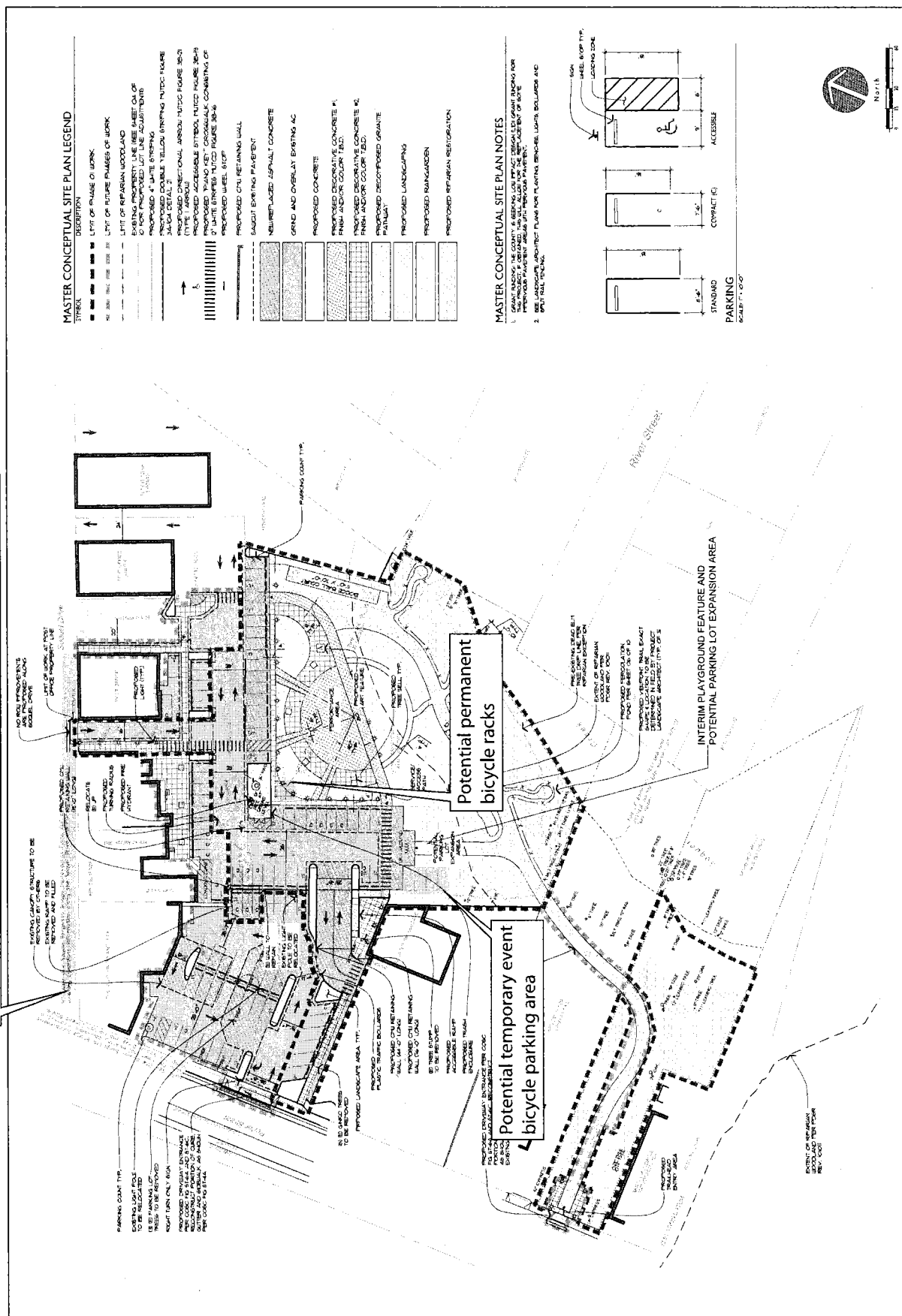


Heart of Soquel



Heart of Soquel

Potential temporary event shuttle/vehicle drop-off/pick-up location



Heart of Soquel

FEHR & PEERS

August 2013
 SJ11-1266

Conceptual Master Plan Recommendations

Figure 4

Attachments

Date	6/3/2011	6/3/2011	6/3/2011	6/3/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011	6/4/2011
Time	6:15 PM	7:20 PM	8:30 PM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	
LOCATION	Capacity*														
Lighthouse Public Parking Lot	47	8	5	0	3	4	3	9	7	9	7	4	3	1	
Daubenbiss Public Parking Lot	56	45	49	4	8	9	12	17	18	26	20	13	21	29	
Porter Street Public Parking Lot	29	5	1	6	9	16	12	12	12	15	12	11	6	3	
Cross Point Church Lot	48	1	1	1	1	1	1	1	1	1	1	1	1	1	
Soquel Elementary Lot	43	26	45	3	19	18	20	18	7	5	4	4	2	0	
Congregational Church Lot	73	9	10	4	20	3	4	6	6	14	19	15	16	6	
Soquel High Lot	246(52)			150	153	126	116	106	100	4	3	2	2	0	
Main Street Elementry Lot	65			6	6	6	6	6	6	6	6	6	6	5	
Anna Jean Cummings Lot	219			1	2	0	1	4	6	7	8	15	23	19	
Soquel Village Antiques Upper Lot	26			9	12	16	14	15	18	19	13	9	9	8	
Soquel Village Antiques Lower Lot	14			7	8	8	11	11	11	14	9	9	4	3	

NOTES:
Soquel Elementry was hosting an ice cream social at 6:30 on 6/3/2011, which is why parking numbers were so high for the 6 and 7 PM surveys.
Soquel High School had events going on Saturday morning through mid day. According to a student questioned there was Saturday School, SAT prep class, and some sports event.
Main Lot at Soquel High School was gated and closed at 3:00 PM on 6/4/2011 (lot with 246 spaces). Parking numbers after 3 are from secondary lot adjacent to Tennis Courts and Baseball field.
Cross Point Church lot had the same 5 cars parked there the whole time.
Main Street Elementry had the same 5 cars parked there the whole day.
Survey added Soquel Village Antiques upper and lower lots, as it is clear they are currently being used by the general public more than just by patrons of the business.



MEMORANDUM

Date: January 9, 2014
To: Sheryl Bailey, County of Santa Cruz
From: Kevin Chen and Matt Haynes, Fehr & Peers
Subject: **Heart of Soquel Master Plan Transportation Impact Analysis Response to Comments**

SJ11-1266

At your request, this memorandum was prepared in response to additional comments related to the Heart of Soquel Final Transportation Impact Analysis memorandum dated August 27, 2013. The proposed Heart of Soquel Master Plan (described as the “project” in this document) will convert the existing mobile home park into a small public park with a public parking area. The Master Plan area is located on the southeast corner of Soquel Drive/Porter Street in unincorporated Santa Cruz County, bounded by Soquel Creek to the east, Porter Street to the west, Soquel Drive to the north, and commercial developments to the south.

Those comments include:

1. What the definitions of the term “Peak Hour Trip” are as identified in the memorandum?
2. Why intersection level of service (LOS) was not conducted?

Response #1

In the memorandum, the term Peak Hour Trip was first referenced under the section *Typical Day Operation*. This section determined that under normal operation of the project, the public park would generate eight new vehicle trips during the evening peak commute hours between 4:00 PM – 6:00 PM, which is less than the minimum County requirement of 20 peak hour commute trips to warrant a detailed transportation analysis. Thus, the Peak Hour Trips refers to peak *commute* hour trips.

Aside from normal operation, the project is also expected to host evening community events that would generally start after the end of the evening peak commute hour at 6:00 PM. Therefore, for the remainder of the memorandum, starting with section *Weekday Evening Event*, the term Peak Hour refers to the peak *event* hour, which would generally occur between 6:00 PM – 7:00PM according to **Table 2** of the memorandum.

Response #2

Detailed intersection LOS is typically conducted for peak commute hours (7:00 AM – 9:00 AM and 4:00 PM - 6:00 PM). In this study, intersection LOS was not conducted because the project is expected to only generate eight afternoon peak commute hour trips under normal operation. According to County guidelines and in consultation with County staff, we determined that a detailed intersection LOS analysis is not necessary for this study. Special weekday evening events, while they would generate more vehicle traffic, are expected to occur after the standard evening commute peak hour, thus creating minimal impact to peak hour commute travel.

Also, a recent 2012 transportation study conducted for the Transit Corridors Plan for Sustainable Communities in Santa Cruz County (by Fehr & Peers for Santa Cruz County), identified the Soquel Drive / Porter Street intersection as operating at acceptable traffic delay levels during the morning and afternoon peak commute hours. The addition of the project is not expected to substantially change traffic volumes or patterns at this location during peak commute hours.

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NOISE IMPACT AND MITIGATION STUDY

Heart of Soquel Special Community Event Project
Soquel, Santa Cruz County

Final

April 12, 2013

Prepared by

H. STANTON SHELLY

Acoustical Consultant

ATTACHMENT 12

1. Project Description [1] [2]

Santa Cruz County proposes to develop a new outdoor community space adjacent to the retail shopping center at the southeast corner of the intersection of Soquel Drive and Porter Street, an area referred to as the "Heart of Soquel" (HOS). The area behind the existing retail businesses along Soquel Drive is to be developed into an outdoor public meeting and activity area, to provide a space for special summer community events of up to 200 on weekday evenings, and weekend events that may have 500 in attendance (see Master Plan map, Exhibit 1). Either type of event may include music performances, and weekend events may also include various types of fairs and markets. A number of existing parking lots nearby within walking or busing distance would provide the necessary parking spaces for the events. HOS activities could create noise impacts at several nearby residential receptors, activities which include direct noise produced by acoustic music performances or amplified sound systems, as well as noise from the increased traffic generated by the events.

The project area is presently a mixed residential and local retail neighborhood. Soquel Drive and Porter Street bound the project area on the north and west sides, while Soquel Creek provides the southeast boundary. This study evaluates the potential noise impacts on nearby sensitive receptors produced by the proposed new uses of the community HOS area, and recommended noise mitigation measures as needed.

2. Existing Setting

Noise Sources in the Area

The primary source of noise in the project area is traffic on Soquel Drive, a four lane arterial, and Porter Street, a two-lane arterial. Typical vehicle passby noise levels are in the 55 -65 dBA range at 50 feet. Trucks, buses, motorcycles, and poorly-muffled vehicles produce peak levels 5 to 15 dBA higher on passby. Infrequent small aircraft overflights create noise incidents of 50 to 60 dBA. Other than normal sporadic noises of emergency vehicles and garbage pickup, there are no other significant noise sources in the project area.

Sensitive Receptor Locations and Descriptions

Nearby sensitive receptor locations for noise generated by the project include the following (see Exhibit 1):

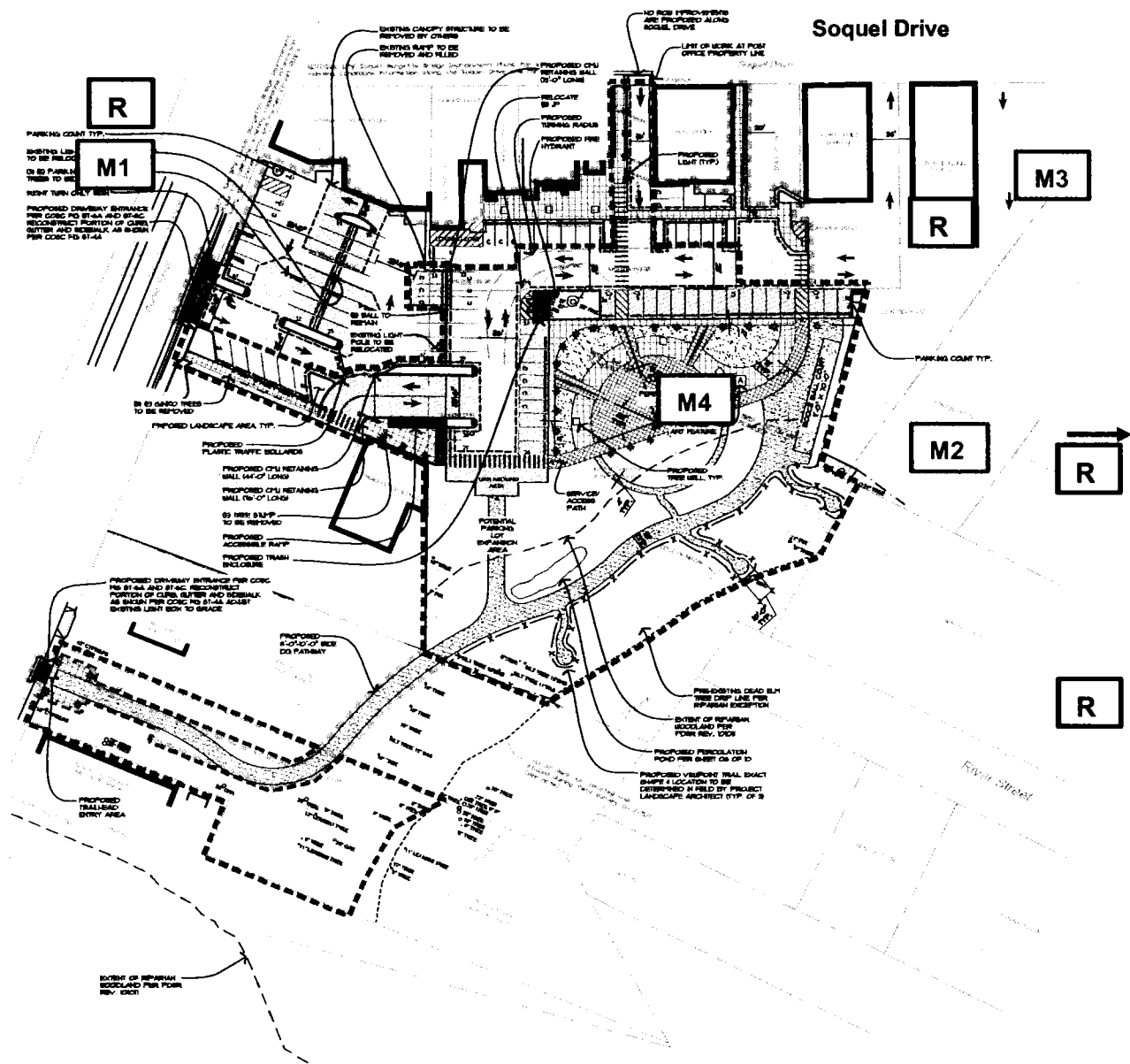
- Residence at 2897 Porter Street, above the Ugly Mug at 4640 Soquel Drive
- Several residences across Soquel Creek from the project site
- Residence above Play It Again Sports at 4770 Soquel Drive.

This study investigates the extent to which the closest receptors could be impacted by noise from Heart of Soquel project activities, as well as increased traffic from the project. Other receptors in the area would have less project noise impacts because of significant additional distance and/or structural obstructions.

Ambient Noise Levels

Field noise measurements were made during the morning of January 29, 2013, with a CEL-440 Precision Noise Meter and Analyzer, calibrated with a B & K Model 4230 Sound Level Calibrator. The measurement locations were chosen to represent the identified key sensitive receptor locations, as described below (see Exhibit 1):

- Location 1 – parking lot behind the Ugly Mug coffee shop. No direct arterial traffic noise.
- Location 2 – parking lot adjacent to Soquel Creek and across from residences adjacent to Soquel Creek.
- Location 3 – parking lot adjacent to Play it Again Sports. Approximately 80 feet from Soquel Drive.
- Location 4 – near the center of the area where the Heart of Soquel plaza will be.



R Representative nearby residential receptor location **M** Noise monitoring location

EXHIBIT 1 – Heart of Soquel Master Conceptual Site Plan [1]

Noise levels were measured and are reported using percentile noise descriptors as follows: L_{90} (the background noise level exceeded 90 % of the time), L_{50} (the median noise level exceeded 50% of the time), L_1 (the peak noise level exceeded 1% of the time), and L_{eq} (the average energy-equivalent noise level). Measured noise levels are presented in Exhibit 2 below. The L_{dn} noise levels were computed as the long-term average of the L_{eq} using typical daily traffic distribution in the area, with standard weighted penalties for nighttime hours, and modeled with an enhanced version of the National Cooperative Highway Research Board traffic noise model [3].

EXHIBIT 2
EXISTING NOISE LEVELS (dBA)
Heart of Soquel project area – Soquel Drive, Santa Cruz

Location	L_{90}	L_{50}	L_{eq}	L_1	L_{dn}
1. parking lot west of project	46	49	51.3	59	53
2. adjacent to Soquel Creek at project	49	50	53.5	61	55
3. northeast corner of project area	51	56	58.0	66	60
4. near center of future HOS plaza	49	51	52.3	59	54

Traffic on Soquel Drive and Porter Street is the dominant noise source at and near the HOS project, so overall noise levels at any location depend upon the distance to the two roads and also if there is a direct sound path to the vehicles, or if there are obstructions between location and the roadway. That is, locations that are partially shielded from direct traffic noise have lower noise levels than those that are not shielded by buildings. Exhibit 2 monitored levels demonstrate those relationships. All locations are at least partially shielded from direct traffic noise. Location three is the closest to an arterial and has the least shielding from direct traffic noise, and consequently has the highest noise levels.

Santa Cruz County Land Use Noise Standards

Exhibits 3 and 4 present general noise planning guidelines and noise ordinance standards adopted in the Santa Cruz County Noise Element [4] for various types of community land uses.

EXHIBIT 3
Santa Cruz County Noise Planning Guidelines [4] – L_{dn} / CNEL (dBA)

Land Use	Land Use Compatibility for Community Noise Environments "Normally Acceptable"
Single and Multiple-family Residential, Motels, Hotels	60
Schools, Libraries, Hospitals, Churches	60
Outdoor Sports and Recreation, Parks, Playgrounds	65
Commercial, Shopping Center, Offices, Banks, Retail	60
Industrial, Manufacturing, Utilities, Agriculture	70

EXHIBIT 4
Santa Cruz County Noise Ordinance Limits [4] (dBA)
Stationary noise source levels at receptor property line

	Maximum Allowable Noise Exposure	
	Daytime 7 am to 10 pm	Nighttime 10 pm to 7am
Hourly Leq – energy average noise	50	45
Maximum noise level – Slow response	70	65
Maximum noise level – Fast response	65	60

3. Potential Project Noise Impacts

HOS activities of several types could potentially cause noise impacts at nearby receptor areas. They include acoustic and amplified music performances, craft and food fairs, farmers markets, outdoor recreational activities, and also increased traffic noise associated with these activities. ~~These special community events would occur in summer months during daylight hours.~~ All events would require a permit that could impose special conditions on the allowed activities or hours, or specific noise mitigation requirements to protect nearby receptors. Potential noise impacts of these special event activities in the HOS area are described in the following sections.

Music Performances in the Plaza area

Many types of instrumental and vocal music group performances could be accommodated on the HOS plaza, the circular area in the Exhibit 1 project map, either with or without amplification. Many different types of music with different sound levels could be appearing at an event. Disturbance to nearby residences can be avoided as long as the sound levels are monitored and limited to appropriate noise levels. With adequate checking of noise levels, particularly for amplified performances, some flexibility in setting up the performance area and speaker locations, if desired, could be allowed. To this end it is recommended that Santa Cruz County obtain an appropriate basic noise level meter for event staff to use, and that noise levels be checked along the 10-foot path that represents the southern boundary of the active HOS event area. Based on the Exhibit 4 noise level limits, if event noise levels are limited to a maximum level of 75 dBA (Slow meter response) on the 10-foot path at the three viewpoint trail intersections, and 70 dBA at the northeast end of the path, then receptor noise levels at the nearest residences would meet the noise ordinance and prevent noise disturbance. There would be no need for constant monitoring, but after initial setup of amplifier settings, sporadic checks at the four key locations should be made to insure continuing compliance. With this protocol, speakers and performance areas could be set up in different configurations, as long as the noise limits were met. However, because of the nearest residence at Play it Again Sports, speakers should be set up to provide appropriate noise levels in that location. Also, for this relatively small performance space, more speakers mounted at modest heights are recommended, rather than fewer speakers mounted high above ground level.

Craft fairs, Food fairs and Farmers Markets

For small fairs of various types, which typically have many retail booths set up around the plaza as shown in Exhibit 1, a low-volume public address or background music system could be installed by event coordinators. A low overall sound level for this type of an event could provide satisfactory audio performance that would not interfere with normal conversations and the business being transacted in the booths. As with regular music performance events, more small speakers mounted in distributed locations throughout the booth area at a reasonable height would be recommended. In any case, although it should not be an issue, the noise levels along the 10-foot path when operating these sound systems should not exceed those as specified previously for music performances.

EXHIBIT 4
Santa Cruz County Noise Ordinance Limits [4] (dBA)
Stationary noise source levels at receptor property line

Criteria	Maximum Allowable Noise Exposure	
	Daytime (1) 7 am to 10 pm	Nighttime 10 pm to 7am
Hourly Leq – energy average noise	50	45
Maximum noise level – Slow response	70	65
Maximum noise level – Fast response	65	60

(1) Daytime limits are raised to existing ambient levels.

3. Potential Project Noise Impacts

HOS activities of several types could potentially cause noise impacts at nearby receptor areas. They include acoustic and amplified music performances, craft and food fairs, farmers markets, outdoor recreational activities, and also increased traffic noise associated with these activities. These special community events would occur in summer months during daylight hours. All events would require a permit that could impose special conditions on the allowed activities or hours, or specific noise mitigation requirements to protect nearby receptors. Potential noise impacts of these special event activities in the HOS area are described in the following sections.

Music Performances in the Plaza area

Many types of instrumental and vocal music group performances could be accommodated on the HOS plaza, the circular area in the Exhibit 1 project map, either with or without amplification. Many different types of music with different sound levels could be appearing at an event. Disturbance to nearby residences can be avoided as long as the sound levels are monitored and limited to appropriate noise levels. With adequate checking of noise levels, particularly for amplified performances, some flexibility in setting up the performance area and speaker locations, if desired, could be allowed. To this end it is recommended that Santa Cruz County obtain an appropriate basic noise level meter for event staff to use, and that noise levels be checked along the 10-foot path that represents the southern boundary of the active HOS event area. Based on the Exhibit 4 noise level limits, if event noise levels are limited to a maximum level of 75 dBA (Slow meter response) on the 10-foot path at the three viewpoint trail intersections, and 70 dBA at the northeast end of the path, then receptor noise levels at the nearest residence/activity areas would meet the noise ordinance and prevent noise disturbance. These levels limit the music to the noise level similar to a auto passby at 25 feet. Note that existing daytime ambient noise levels near the creek are above the 50 dBA ordinance limit. There would be no need for constant monitoring, but after initial setup of amplifier settings, sporadic checks at the four key locations should be made to insure continuing compliance. With this protocol, speakers and performance areas could be set up in different configurations, as long as the noise limits were met. However, because of the nearest residence at Play it Again Sports, speakers should be set up to provide appropriate noise levels in that location. Also, for this relatively small performance space, more speakers mounted at modest heights are recommended, rather than fewer speakers mounted high above ground level.

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Other outdoor HOS activities

Other outdoor activities could include children using the outdoor play structure in the southwest corner of the HOS area, bocce ball (northeast area), bike riding, skateboarding, and other typical outdoor public park-type endeavors. Activities of this type can create sporadic maximum noise levels from voices of 50 to 60 dBA at 50 feet, which are within the normal traffic noise level variations on event days. Long term average Leq levels for these activities would not be significantly higher than for days without special events.

Event Traffic Noise

Weekday evening event traffic. The project traffic study by Fehr and Peers [5], referring to estimates from the Santa Cruz County Redevelopment Agency (SCCRA), expects 50-150 people to attend weekday evening events, such as small concerts. The level of traffic generated by this attendance would only increase normal weekday traffic on the order of 3-5 %. This is within the normal variation of traffic from day to day without any special events occurring, and hence there would be no noticeable traffic noise increase.

Weekend special event traffic. The Santa Cruz County Parks Division staff anticipates a maximum of 500 people would attend weekend events. However, for purposes of evaluating worst-case traffic and parking issues, the project traffic study estimated 2500-5000 attendees at weekend special events at HOS, assuming that 80% of attendees arrive in private vehicles that are parked in nearby areas, and these numbers were used for the traffic noise analysis. The remaining attendees are assumed to be dropped off (5%), or to come by bike, public transit, or on foot. For a maximum attendance of 5,000 the traffic study assumes a total of about 3800 trips to/from the project area. There are 6 offsite parking lots within one quarter mile of the HOS site, with excess capacity during weekends of about 230 spaces, and an additional three parking lots up to one half mile away with an additional available 415 spaces on weekends. The traffic study assumes that 60% of the project trips use Soquel Drive east of Porter Street and 40% of the trips use Porter Street south of Soquel Drive. For a worst-case noise impact analysis, an additional 25% of project trips are assumed to use Soquel Drive west of Porter, and also 20% of the trips use Porter Street north of Soquel. This seems justified for those locals coming from different directions and also for those looking for parking and using several streets in the process.

Two types of traffic noise analyses are presented in this study. One set of traffic noise impacts relate to the three key sensitive receptors that have been identified in the project area, as well as the HOS plaza itself, and these locations are also represented by the field noise measurement locations for comparison (Exhibit 2). Traffic noise levels for the No Project case and for weekend special events at these locations are shown in Exhibit 5.

**EXHIBIT 5
RECEPTOR TRAFFIC NOISE LEVELS (dBA, period Leq) [3]**

Weekend Heart of Soquel events

Location	No Project	Weekend events
1. Residence near parking lot west of project	50-52	50-53
2. Residences adjacent to Soquel Creek near project	52-54	52-55
3. Residence in northeast corner of project area	57-59	57-60
4. Center of HOS plaza	51-53	51-54

The anticipated worst-case increases in local traffic volumes on Porter Street and Soquel Drive near the receptor areas, as estimated by the traffic study, could result in a 0.5-1.0 dBA increase in the traffic noise Leq (energy-equivalent noise level that emphasizes high noise level events) during the several hours of peak

event traffic. This level of change in traffic noise levels would not be noticeable, and hence would not cause disturbance or adverse noise impacts. And there would be no change in the long-term Ldn noise levels at these locations from event traffic.

Since the four legs of Porter Street and Soquel Drive represent the four access routes to HOS events, other residential receptors further away along these arterials also could have increased traffic for weekend HOS events and associated potential noise impacts. These potential traffic noise impacts are modeled at a distance of 40 feet from the roadway along the four access routes, and these are presented in Exhibit 6. Note that residences or other receptors closer to the roadway than 40 feet would have higher noise levels than shown, with or without project traffic, and receptors further away from the road would have lower noise levels, but the potential increases due to project traffic would be the same, increases in the range of 0.5 to 1 dBA Leq during the peak traffic period for the weekend events. This level of noise level increase would not be noticeable or create noise impacts.

EXHIBIT 6
TRAFFIC NOISE LEVELS ALONG ACCESS ROUTES (dBA, period Leq)
Weekend Heart of Soquel events

Location	No Project	Weekend event
1. adjacent to Soquel Drive west of Porter Street	65-67	66-67
2. adjacent to Soquel Drive east of Porter Street	65-67	66-68
3. adjacent to Porter Street south of Soquel Drive	63-65	64-66
4. adjacent to Porter Street north of Soquel Drive	63-65	63-65

B. Summary of Potential Noise Impacts from HOS Events

With proper monitoring of music and sound system noise levels as described above, HOS special events would not produce noise levels on nearby receptor properties near the 60 dBA guideline level in the County Noise Element. And the events would meet the limits of the noise ordinance as well. Traffic noise increases would be 1 dBA or less in the peak event traffic periods, and would not be noticeably different than traffic noise levels on other non-event days.

C. Temporary Construction Noise

This section describes general project construction activities and their expected duration [2], and the noise levels of vehicles, equipment and powered tools that are expected to be used for demolition, site preparation and construction tasks. Although several Noise Element sections apply generally to project noise, none apply specifically to project construction noise. Unless otherwise noted, noise levels are stated at a distance of 50 feet. Typical noise levels for construction equipment are listed in Exhibit 7. Construction equipment noise level data are based on reference 6 and measurements by ECS.

The receptor locations affected by the construction phases include the same as for project activities, those residences near the site. In addition, each of the tasks require some medium and large truck trips to and from the site, affecting receptors on the major access routes such as along Soquel Drive and Porter Street.

1. **Clearing and grubbing.** Remove portions of existing hardscape (pavement and retaining wall), using saw-cutter, small dozer/ front end loader and pick-up truck (approximately three truckloads of debris). One to two days maximum.
2. **Installing drainage and retaining wall.** Create trench using ditch witch (1 day) and handwork. Install retaining wall using small on-site mechanical cement mixer and hand mixer (small wall that does not require enough concrete to warrant a concrete truck load (2 days).

3. **Creating finish grade** (1-2 days) Use small dozer and mechanical arm and mechanical drivable compactor to create final surface topography.
4. **Pouring/installing hard surface.** Construct frames by hand (3-4 days). Install decomposed granite on walk-ways and plaza (1-2 days). Install permeable pavement (1-2 days). Requires several truckloads of material (total of 7-9, depending on the quantity of base rock needed and the condition of existing sub-grade). Also requires a small dozer to spread material, a motorized hand compactor, and a small rolling motorized compactor.
5. **Parking lot striping** (1 day). Requires truck and hand painting equipment.
6. **Landscaping and fencing** (2-4 days). Installed manually. Includes 2 truck deliveries of materials.

**EXHIBIT 7
TYPICAL CONSTRUCTION EQUIPMENT NOISE LEVELS (dBA) [6]**

Equipment	Noise Level
Mobile Equipment	
Front Loader	75-80
Backhoe	75-85
Bulldozers, tractors	75-85
Scraper	80-90
Grader	75-85
Truck	75-90
Paver	80-90
Materials Handling	
Concrete mixer	75-85
Concrete pump	75-80
Crane	75-85
Derrick	75-90
Stationary Equipment	
Pumps	70-75
Generators	75-80
Compressors	75-80
Saws	75-80
Impact Equipment	
Pile drivers	95-100
Jackhammers	75-90
Pneumatic tools	80-85

D. Summary of Potential Construction Noise Impacts

During site preparation and construction, certain heavy equipment could be within 50-75 feet of the nearest residences, such as at Play it Again Sports, and somewhat further away from other identified receptor locations. In addition, for the construction period, nearby business would no doubt want to stay open as much as possible, and for this period they would also represent sensitive receptors. Therefore, intermittent noise exposure at the closest unprotected locations could be 75-85 dBA. Construction noise would be intermittent and of limited duration at any given location, rather than continuous, since equipment is used sporadically over a number of weeks. The closest receptors as described above, as well as those across the creek, could experience disturbance from intermittent project-related noisy equipment,

To minimize potential construction noise impacts, a number of mitigation measures are recommended in Section 4 following.

4. Recommended Noise Mitigation Measures

Although none of the project operational activities would be considered significant impacts or exceed the County’s long-term CNEL standards, the following mitigation measures are suggested to reduce individual noise events and the amount of potential disturbance in nearby receptor areas. Temporary construction noise has a greater potential to cause disturbance because of the higher noise levels, although only for a period of days or a few weeks in any location, so mitigation measures are recommended to reduce the potential noise disturbance from these events.

A. Recommended HOS Event Noise Mitigation Measures

1. Check event noise levels along the 10-foot path that represents the southern boundary of the active HOS event area. Ensure a maximum noise level of 75 dBA (Slow meter response) on the 10-foot path at the three viewpoint trail intersections, and 70 dBA at the northeast end of the path.
2. Speakers should be distributed and mounted at relatively low heights, and directed toward the intended attendee areas only.

B. Recommended Construction Noise Mitigation Measures

1. Choose construction equipment that is of quiet design, has a high-quality muffler system, and is well maintained. This includes trucks used to haul materials and as well as stationary engines and pneumatic impact machines.
2. Restrict use of heavy equipment hours to Monday through Friday, 8 am to 5 pm.
3. Eliminate unnecessary idling of machines when not in use.
4. Use good maintenance and lubrication procedures to reduce operating noise.
5. Locate and use equipment away from sensitive receptors, and erect temporary plywood barriers wherever possible around stationary equipment.

5. Conclusions and Summary

Overall background noise levels in the project area depend primarily on traffic noise, and it will continue to be the dominant noise source in the area in the foreseeable future.

The addition of special community events in the Heart of Soquel area, with the recommended mitigation measures, would meet County noise standards, and would not create disturbing noise levels at any nearby receptors. Heart of Soquel project trips would not increase traffic noise levels more than 1 dB during event hours, and hence associated traffic noise would not be noticeable.

Note that complying with County noise limits does not imply that sounds from HOS special community events will not be audible at nearby receptors, nor that the events will not be considered disturbing by some nearby residents on some occasions. Rather, meeting County noise standards implies that the sound levels will be within the range of existing noises already in the environment, and in general would not be disturbing to most people.

REFERENCES

1. Heart of Soquel Conceptual Master Plan, Santa Cruz; County of Santa Cruz Dept. of Public Works, dated May 2012.
2. Heart of Soquel project, planned activities description, S. Bailey, Public Works Project Mgr., Santa Cruz County; January/February, 2013
3. Highway Noise - A Design Guide for Highway Engineers, National Cooperative Highway Research Program Report 117, Highway Research Board, National Academy of Sciences, Washington, D.C., 1971 (model enhanced and field validated by ECS)
4. "Land Use Compatibility for Community Noise Environments", Noise Element, Santa Cruz County General Plan, Planning Department, May 1994
5. Project Traffic Study, "Final Focused Transportation Impact Analysis for the Heart of Soquel Master Plan in Soquel, CA", Fehr & Peers, San Jose, CA; November 4, 2011
6. "Noise from Construction Equipment and Operations, Building Equipment, and Home Appliances", U.S. Environmental Protection Agency, Office of Noise Abatement and Control, Washington, D.C., December 1971.

Heart_of_Soquel_Ns_SantaCruz_Final2

CULTURAL RESOURCE EVALUATION
OF THE HEART OF SOQUEL PROJECT
IN THE COUNTY OF SANTA CRUZ

FOR

MR. DOMINIC ZIGANT
VANIR CONSTRUCTION MANAGEMENT
1000 BROADWAY, SUITE 475
OAKLAND, CA 94607
NWIC# 12-0746

BY

Archaeological Resource Management
Dr. Robert Cartier, Principal Investigator
496 North Fifth Street
San Jose, CA 95112
Phone: (408) 295-1373
FAX: (408) 286-2040
Email: armcartier@netscape.net

MARCH 15, 2013

General Historic Sensitivity

Based upon historic maps (see Appendix B) the area of Soquel which includes the proposed project area has been continuously occupied and the site of a variety of agricultural, commercial, and residential activities since the mid Nineteenth century. It is likely that subsurface historic materials, associated with diverse activities significant to the history of Soquel are located within the proposed project area. This may include materials associated with orchards, other agriculture, commercial and domestic activities.

CONCLUSION AND RECOMMENDATIONS

Archaeological Conclusions

Archival research revealed that there are no recorded prehistoric resources within the proposed project area. Four previously recorded archaeological sites, CA-SCR-179, CA-SCR-171, CA-SCR-292/H, and CA-SCR-168, are located within one half mile of the proposed project area. CA-SCR-179 is recorded directly adjacent to the south side of the study area and may in fact overlap into the Soquel School property where traces of prehistoric activity were noted during the field survey. Two additional recorded historic resources are located within one half mile: P-44-455 and CA-SCR-334H. Multiple structures of historic age are also located within or adjacent to the boundaries of the proposed project area. Traces of prehistoric materials, including fire cracked rock in possible midden soils were noted within the Soquel School property. In addition, the documented historic occupation of the project area since the mid-19th century makes the presence of subsurface historic features or other materials likely.

Archaeological Recommendations

Thus, due to the general sensitivity of the area for subsurface historic materials, the traces of prehistoric material noted during surface reconnaissance, and the recorded presence of a significant Native American archaeological site on the adjacent property, it is recommended that all earthmoving activities associated with the proposed project be monitored by a qualified archaeologist.

LITERATURE CITED AND CONSULTED

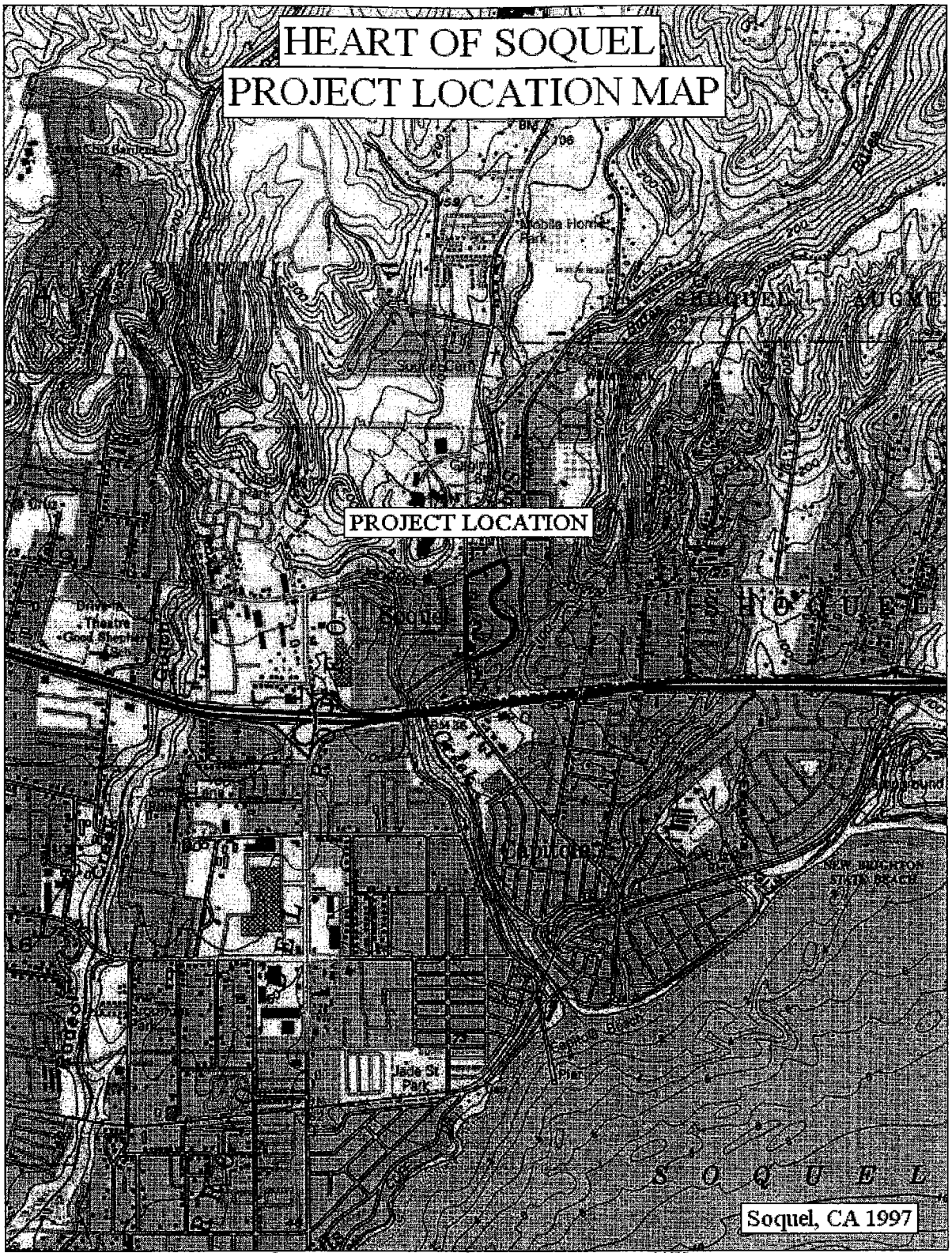
Bean, L. J., and H. Lawton

- 1976 Some Explanations for the Rise of Cultural Complexity in native California with Comments on Proto-Agriculture and Agriculture, in *Native Californians: A Theoretical Retrospective*, edited by L. J. Bean and T. C. Blackburn. Menlo Park, CA.: Ballena Press.

California Historical Resources Information Center

- 2013 NWIC# 12-0746 on file at the Northwest Information Center, Department of Anthropology, Sonoma State University, Rohnert Park.

HEART OF SOQUEL PROJECT LOCATION MAP



PROJECT LOCATION

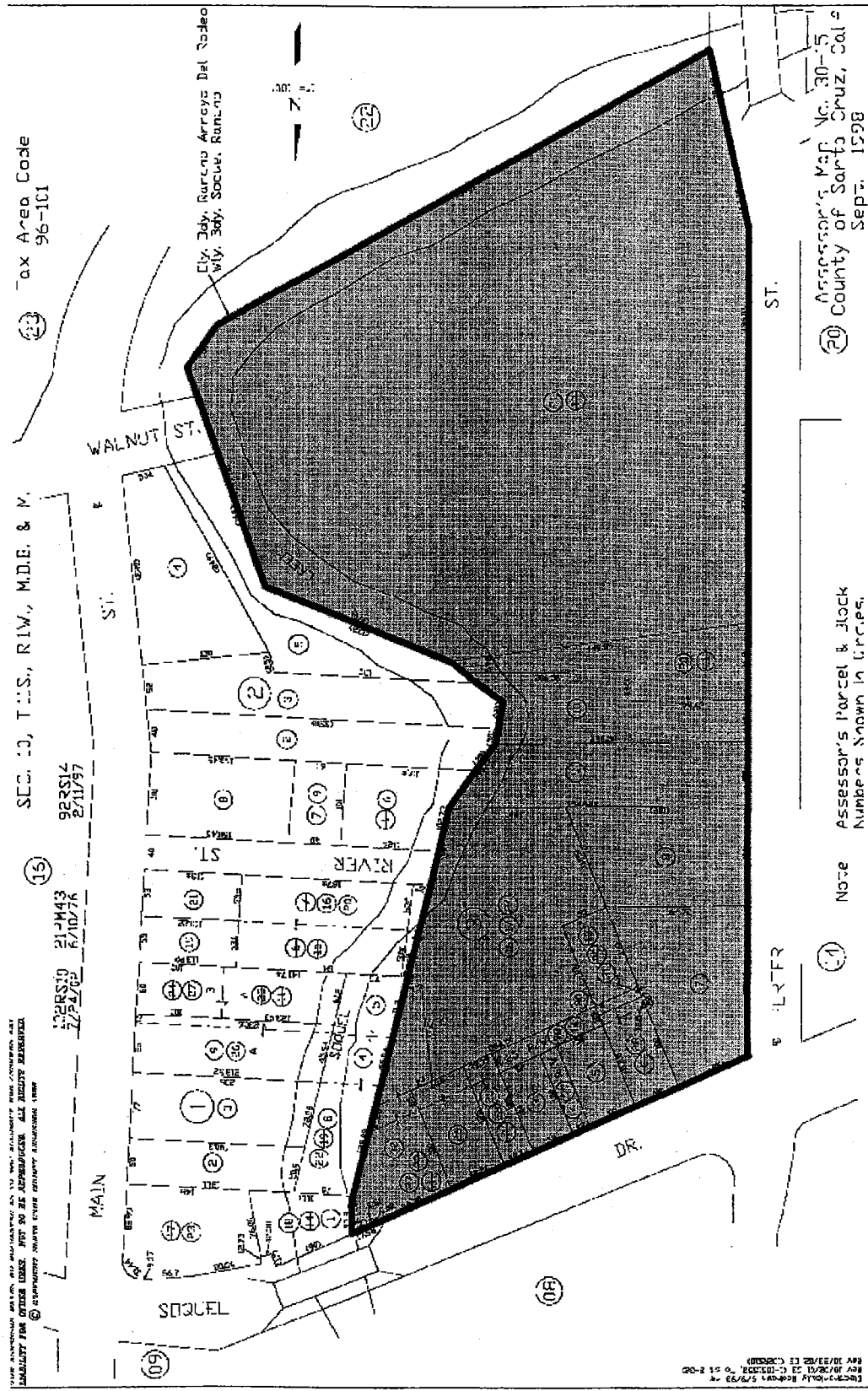
Soquel, CA 1997

TN * MN
14 1/2°

0 1000 FEET 0 500 1000 METERS

Printed from TOPO! ©2001 National Geographic Holdings (www.topo.com)

HEART OF SOQUEL PROJECT AREA MAP



1208510 21-PM43
7/24/93 6/10/78
923514 2/11/97

ESCHERICH & ASSOCIATES
1000 AVENUE 17
SAN JOSE, CALIF. 95128
TEL. 415-285-1000

Note Assessor's Parcel & Block Numbers Shown in Circles.

Assessor's Map No. 30-5
County of Santa Cruz, Cal.
Sept. 1998

Sheila McDaniel

From: Matt Johnston
Sent: Tuesday, April 23, 2013 2:25 PM
To: Sheila McDaniel
Subject: RE: HOS arch report review status

Hi Sheila

I cannot find any application for a report review for this report in Hansen. I've read the report and have accepted and approved it, provided the recommendation of monitoring during excavation by a qualified archaeological monitor is included in as a mitigation in the initial study and a condition of approval in the permit.

Matt Johnston
Environmental Coordinator
County of Santa Cruz

From: Sheila McDaniel
Sent: Tuesday, April 23, 2013 9:11 AM
To: Matt Johnston
Subject: HOS arch report review status

Matt,

I spoke with Antonella and she does not have the arch report. So, I take it you still have the report. Please let me know about the status of this report review. I need to move this to Environmental Review on May 7th so this project can be completed. Please confirm

Thank you,

Sheila McDaniel, Senior Planner
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz, CA 95062
831-454-2255
sheila.mcdaniel@co.santa-cruz.ca.us

COUNTY OF SANTA CRUZ

MEMORANDUM

Date: October 10, 2013

To: Sheila McDaniel, Senior Planner, Planning Department

From: Sheryl Bailey, Project Manager, Parks Division of the Department of Public Works

Re: Revised Program Statement – Heart of Soquel Park Uses, Application # 111131
APN(s): 030-153-10 (Porter Street Property) & 030-153-24 (Heart of Soquel Property)

Introduction

The Mission Statement of the Santa Cruz County Public Works (DPW) Division of Parks, Open Space & Cultural Services is to provide safe, well-designed and maintained parks with a wide variety of recreational and cultural opportunities for our diverse community.

Background

Currently, the County provides a variety of active and passive outdoor recreational opportunities including hiking trails, open space, beach access points, basketball and tennis courts, swimming and other aquatic programs (e.g. water polo), skate parks, rentable sports fields, community garden spaces, picnic sites, and dog parks. The County has a total of 57 parks, five of which have a Community Center. All five of these Community Centers are utilized on weekdays for meeting space and on most weekends (May-October) for special events, weddings and receptions. These facilities are frequently rented and there is a need to provide additional programming for community festivals, fairs, concerts, etc. The proposed project provides the Parks Division of Santa Cruz County with this additional opportunity to program community special events.

Parks Division's permits for events or the renting of park facilities, is in part, governed by the Board of Supervisors adoption of a schedule of fees for the use of parks and it also adopts regulations for the granting of permits by the Parks Division pursuant to County Code 10.04.040 and these are incorporated into the Unified Fee Schedule (see <http://sccounty04.co.santa-cruz.ca.us/UFS/ufsview.aspx> and select Parks in drop down menu). Many Parks have the ability to permit certain uses and have events for which fees are collected by the Parks Division. Regular permitted uses do not exclude the public's general use of the park but may take place in a certain designated area of the park. "Special Events" may exclude the general public (e.g. the Santa Cruz County Blues Festival held annually at the County's Aptos Park) and one Special Event is allowed per quarter at each park. The County's Parks Division collects fees for both types of events.

Programming Goals

The Heart of Soquel Park will provide a variety of recreational and educational opportunities for both nearby residents and the community at large, all in one location.

Park improvements will include a community plaza, a small open space area, benches and/or picnic tables, a bocce court, interpretive signage, a drinking fountain, ornamental landscaping, a pedestrian trail paralleling Soquel Creek, habitat restoration within the riparian buffer and associated on-site parking (35 spaces). Additionally, this project will improve vehicle, pedestrian and bicycle access and circulation by adjusting the access to the park from Porter Street and Soquel Drive and providing pedestrian walk-ways to the park from Porter Street and Soquel Drive. Park features will be constructed utilizing best management and low impact development practices, including the use of rain gardens, bio-swailes and pervious surfacing.

In addition to the day to day park uses associated with the aforementioned improvements it is anticipated that the park will also function as a host venue for other Park Permitted Events, including "Special Events" for a more organized or specific use of the park (See Parks Division Unified Fee Schedule for more detail).

Many local residents and patrons of Soquel Village will likely walk or bike to the park, others will arrive in vehicles or via public transit. The total number of public parking spaces provided by this project is 35 (on the Heart of Soquel property, APN 030-153-24). An additional 296 public parking lot spaces and public on-street parking is available within walking distance (¼ mile of the project site in and around Soquel Village).

Typical Hours of Use

The Heart of Soquel Park will be open everyday, from sunrise to sunset except when events occur as noted below. Use of the various park features will vary based upon the seasonal conditions. Park features and the open space will be closed between sunset and sunrise daily, except as noted below. Public parking associated with the County properties will be available daily with no overnight parking allowed. Security lighting will be provided for the public parking areas and other lighting may occur in association with events. Other events must obtain the required permits from the Parks Division to use the park outside the typical sunrise to sunset hours or when the event requires a particular use of a specific area of the park, as described more completely below.

Parks Division's Permitted Events

In addition, to the park visitors that may "drop-in" to sit on a bench and/or stroll along the park's proposed walkway, the Parks Division would like to permit certain activities such as the use of a portion of the park for the adjacent Tara Redwood Village School's "recess times". The Tara Redwood School has their own adequate on-site parking and thus their teachers and students will simply walk over to the park. (Tara Redwood School has offered to donate some playground equipment which maybe installed in the area designated on the plans as "Potential Parking Lot

Expansion Area”, as discussed previously.) Also, the Parks Division may wish to permit other non-special events and Special Events at the Park, in a manner consistent with the Traffic and Parking Memo prepared by Fehr & Peers (dated August 27, 2013) and the Noise Report prepared by Stanton Shelly (dated April 12, 2013). Such events, as an initial, but not exhaustive, list could be: art and wine festivals, food and/or antique faires, musical or community performances, farmer markets, a Taste of Soquel, a movie night in the park, etc. Anticipated number of attendees range from 200 on a weekday night and up to 500 on a weekend. Week night events would be from 7-9 pm for participants and 6-10 pm for vendors. Weekend events will begin no earlier than 10 am and would go no later than 10 pm and vendors would be allowed to set-up and break-down before and after the scheduled event time.

These types of uses were discussed with the community during the development of the Heart of Soquel Conceptual Master Plan and the idea of having community events at this Park was embraced by the community and business owners. It is anticipated that the events would occur on a weekday night in the summer after school is out and on the weekends. The previously mentioned Fehr and Peers report includes a traffic and parking analysis of the surrounding area and concludes that there will not be a negative traffic impact for these events and there is adequate adjacent or near by parking within walking distance (a quarter mile or less) for these types of events. The Noise Report concludes these events can occur without negative noise impacts provided that noise levels are monitored.

Parks Division’s Temporary Use Permit Requirements

It is anticipated the events will be required to obtain an event use permit from County Parks. Currently, the County Public Works Department, and Parks Division of DPW requires event coordinators to obtain Event Temporary Use Permits prior to the advent of the event (see enclosed examples). Event use permits address issues including but not limited to: event participation fees, parking, location and availability (for attendees, local residents, and businesses), restroom facilities, emergency access, universal access, food and alcohol preparation and vending, noise levels, time of use, days of use, surrounding business impacts, and trash and recycling requirements (see enclosed Special Use Permit Application). It is also anticipated that any event held at the Heart of Soquel will comply with all County Parks, Planning, Public Works, Environmental Health and other Health and Safety requirements. The extent and size of the events could range between 50-75 booths dependent on the cooperation of the adjoining parcels with attendance as high as 500 per day of the event (depending on size of event).

The Parks Division issues different types of permits and requires signed contracts and insurance for programmed (non-casual) use of Parks grounds and facilities. Permitted park uses, including noise levels are monitored by the Parks Division’s staff to insure compliance with the permit conditions. Attached are a couple of examples of the types of information required by the Parks Divisions for Special and other types of events.

Enclosures



Santa Cruz County Parks
 979 17th Avenue
 Santa Cruz CA, 95062
 Ph: (831) 454-7901 – Fax (831) 454-7940
www.scparks.com

Special Event Permit Application

In order to review and expedite your request, please supply the following information:

Name of Organization _____
 Non-Profit # (if applicable) _____
 Name of Event Coordinator _____
 Address _____
 City _____ State _____ Zip Code _____
 Email Address _____
 Day Phone (____) _____ Cell Phone (____) _____

Special Event Information:

Type of Event: _____ Estimated Attendance: _____
 Event Title: _____
 Requested Park _____ Requested Date(s) _____
 Are you requesting the entire park? _____ If not what area of the park? (describe physical boundaries) _____
 Actual hours of the event: _____
 Set up date(s) _____ Set up times _____
 Take down/clean up date(s) _____ Clean up times (s) _____
 Description of event set up: (attach additional sheets as necessary) _____

Please indicate whether the following items pertain to your event:

Yes	No	
___	___	Selling Beer/Wine Time of sales _____
___	___	Setting up stage Please include dimensions: _____
___	___	Putting up a fencing barrier _____
___	___	Shuttle plan Parking location _____
___	___	Use of generator _____
___	___	Delivery of a trash dumpster _____
___	___	Portable toilet (s) How many? _____
___	___	First aid facility Who is staffing it? _____
___	___	Cooking booths Number _____
___	___	Inflatable device (s) _____
___	___	Entry fee charged _____
___	___	Amplified sound What hours? _____
___	___	Provide security How many? _____

 Signature of Event Coordinator

 Date



Santa Cruz County Parks
979 17th Avenue
Santa Cruz CA, 95062
Ph: (831) 454-7901 – Fax (831) 454-7940
www.scparks.com

- Sample -

Special Event Conditions of Use

This form is to accompany the Facility Permit Contract for _____ to be conducted at _____ . If all the permit conditions are not complied with, the Department may cancel the event unilaterally.

Dates and Times: Limit use to the dates and times designated on the permits:

Vehicles on turf: Keep vehicles, except those used as part of a booth or exhibit, on hard surfaces and off turf. Delivery vehicles are to be limited to time required to deliver, set-up, or remove equipment.

Parks meeting: Attend an organizational meeting with Park Dept staff on TBD

Grounds: No changes or modifications to the park facilities or grounds are permitted without express written approval of the Department.

Clean up: Clean up and return the grounds and landscaping to conditions found prior to the event to the satisfaction of the Parks Dept. This shall include, but not be limited to, trash pick-up, landscape restoration, turf rebuilding, sod replacement and sprinkler system repair. Restoration must be completed by _____. Cost of clean up or damage repair required by County staff will be charged at \$43./hour plus materials.

Map: Provided a map to the Parks Dept. indicating the location of activities, vendors, stage, and first aid by _____. Restrict use of the facility to those portions of the grounds that are indicated on the provided map.

Equipment checked out from Parks Dept shall be returned within the time limits of the permit. Equipment is subject to rental fees and prior reservation by the Parks Dept.

Requested equipment: TBD

Handicapped access: Provide adequate handicapped accessible parking spaces. Location: TBD.

Publicity Materials: Must include the following: parking and shuttle information, public information phone number, and this statement: " This event is accessible. Please call in advance for reasonable accommodation requests. "

Codes and licenses: Comply with all Federal, State and County laws, ordinances and codes; and have on display required licenses and/or permits necessary for the conduct of the event and/or booths or displays that are part of the event. This includes health permits for food booths. Obtain and comply with all required licensing agreements.

Workers: Persons employed by the user of park facilities to work with stage sets, scenery, rigging properties, lighting, sound equipment, or to perform other work of specialized or technical nature, including ushering and other duties, shall be experienced and competent and in every respect, qualified to perform their duties without jeopardy or hazard to life, property or equipment. State Workers Compensation Insurance requirements shall be in effect.

Barriers: Place barriers, rope off and/or patrol use area in order to discourage foot and vehicular traffic on planted areas. Fencing must be outside of irrigation lines.

INSURANCE

1. Permittee(s) shall assume all risks, incident to or connected with the event and defend, and hold harmless, the County of Santa Cruz, including without limitation, its officials, agents, employees, and volunteers from and against any and all claims, demands, losses, damages, defense costs, or liability of any kind or nature which County may sustain or incur or which may be imposed upon it for any injury or death of persons, or damage to property as a result of, arising out of, or in any manner connected with the performance under the terms of this Permit, excepting any liability arising out of the sole negligence of the County. Such indemnification includes any damage to the person(s), or property (is) of the County of Santa Cruz and third persons.

2. Permittee(s), at their sole cost and expense for the full term of this Permit (and any extensions thereof), shall obtain and maintain minimum compliance with all of the following insurance coverage(s) and requirements. Such insurance coverage shall be primary coverage as respects County and any insurance or self-insurance maintained by County shall be in excess of Permittee(s) insurance coverage and shall not contribute to it.

3. Automobile Liability Insurance for each vehicle used in the performance of this Permit, including owned, non-owned, leased, or hired vehicles, in the minimum amount of \$500,000.00 combined single limit per occurrence for bodily injury and property damage.

4. Comprehensive or Commercial General Liability Insurance coverage in the minimum amount of \$1,000,000.00 combined single limit, including coverage for:

- a. Bodily injury
- b. Personal injury
- c. Broad form prop. damage
- d. Contractual liability
- e. Cross Liability

5. Provide proof of an additional one million dollar (\$1,000,000) Liquor Liability Insurance.

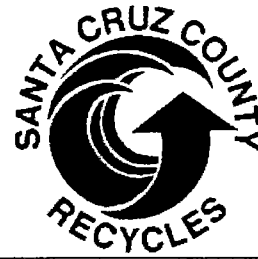
All required Automobile, Comprehensive or Commercial General Liability, and Liquor Liability Insurance shall be endorsed to contain the following clause:

The County of Santa Cruz, its officials, employees, agents and volunteers are added as an additional insured as respects the operations and activities of, and on behalf of, the named insured's performance under its/his/her/their contract with the County of Santa Cruz.

6. All required insurance policies should be endorsed to contain the following clause:
This insurance shall not be cancelled until after thirty (30) days prior
Written notice has been given to:

Santa Cruz County
Department of Public Works – Parks Division
Attn: Mary Chavez
979 17th Avenue
Santa Cruz, CA 95062

7. Copies of all required insurance certificates must be submitted to the Department
by _____.



Recycling Guidelines for _____

Special Events

in Santa Cruz County

California State Law and Santa Cruz County Ordinances require recycling at all events taking place in Santa Cruz County. Recycling bins are in place in many locations, and additional bins can be provided for large events or those with special needs. Be sure to plan your event with this in mind.

- Plan your event to minimize the amount of trash. Use recyclable alternatives wherever possible.
- Be sure to allow sufficient staff time for cleanup after the event.
- Be sure that your cleanup crew separates out all recyclables.
- Glass and metal containers, cardboard, plastic and clean paper can be recycled.
- All trash and recyclables must be placed in the central collection bins provided (usually located in the parking lot).
- For additional trash and recycling bins, contact GreenWaste Recovery at (831) 426-2711. Charges may apply for extra service. Extra bins should be wheeled to the parking lot after the event.

Will food be served or sold at your event?

- Additional rules apply at events where food is to be served or sold.
- NO styrofoam products may be used.
- All food service products provided such as plates, cups, bowls, containers, and even forks, spoons, straws, stir sticks, etc., must all be made of compostable or recyclable materials.
- Compostable products are widely available from food service suppliers and larger stores.
- Be sure to inform all vendors or food providers early so they can plan accordingly.
- Use appropriate signage or staff to inform participants about recycling and composting requirements.
- For events over 1,000 people, special bins for food waste and other compostables may be provided.

**For more information, contact Santa Cruz County
Recycling & Solid Waste Services at 454-2160.**

• Compostable Products Vendor List

• Vendor Name	• Contact	• Phone	• Location	• Environmental Products Available
<ul style="list-style-type: none"> • BiRite Foodservice Distributors 	<ul style="list-style-type: none"> • Lisa MacGowan 	<ul style="list-style-type: none"> • (800) 227-5373 • Ext 469 • www.birite.com 	<ul style="list-style-type: none"> • 123 South Hill Drive • Brisbane, Ca 94005 	<ul style="list-style-type: none"> • Recyclable disposables, including plates, cutlery, & to-go containers. Biodegradable garbage can liners.
<ul style="list-style-type: none"> • Eco Products 	<ul style="list-style-type: none"> • Luke Vernon 	<ul style="list-style-type: none"> • (303)449-1876 • www.ecoproduct.com 	<ul style="list-style-type: none"> • Boulder, CO 	<ul style="list-style-type: none"> • Recyclable disposables, including plates, cutlery, & to-go containers.
<ul style="list-style-type: none"> • Better Brand Food Products 	<ul style="list-style-type: none"> • Leslie Imlay 	<ul style="list-style-type: none"> • 831-724-7443 • www.betterbrandsfood.com 	<ul style="list-style-type: none"> • Watsonville, Ca 	<ul style="list-style-type: none"> • Recyclable disposables, including plates, cutlery, & to-go containers. Biodegradable garbage can liners.
<ul style="list-style-type: none"> • Sysco Food Services 	<ul style="list-style-type: none"> • Glen Robalo 	<ul style="list-style-type: none"> • (800)877-7012 • www.sysco.com 	<ul style="list-style-type: none"> • San Francisco 	<ul style="list-style-type: none"> • Recyclable disposables, including plates, cutlery, & to-go containers.
<ul style="list-style-type: none"> • Coast Paper and Supply 	<ul style="list-style-type: none"> • Reid Duffy 	<ul style="list-style-type: none"> • (831) 423-3350 	<ul style="list-style-type: none"> • 151 Josephine Street, • Santa Cruz, CA • 95060 	<ul style="list-style-type: none"> • Restaurant supply: compostable and/or recyclable to-go containers. No biodegradable bags yet
<ul style="list-style-type: none"> • Green Earth Office Supply 	<ul style="list-style-type: none"> • 	<ul style="list-style-type: none"> • (408)969-0900 • www.greenearthofficesupply.stores.yahoo.net 	<ul style="list-style-type: none"> • 1400 Coleman Ave Suite H-16 • Santa Clara, CA 95050 	<ul style="list-style-type: none"> • Restaurant supply: compostable and/or recyclable to-go containers, biodegradable bags
<ul style="list-style-type: none"> • Genpak 	<ul style="list-style-type: none"> • Michael Muchin 	<ul style="list-style-type: none"> • (310) 676-5000 • www.genpak.com 	<ul style="list-style-type: none"> • Hawthorne Ca 	<ul style="list-style-type: none"> • Restaurant supply: compostable and/or recyclable to-go containers, biodegradable bags

<ul style="list-style-type: none"> Ledyard's 	<ul style="list-style-type: none"> Gail Bramlett 	<ul style="list-style-type: none"> (831) 462-4400 www.ledyard.com 	<ul style="list-style-type: none"> 1047 17th Avenue Santa Cruz, CA 	<ul style="list-style-type: none"> Restaurant supply: compostable and/or recyclable to-go containers, biodegradable bags
<ul style="list-style-type: none"> Simply Biodegradable 	<ul style="list-style-type: none"> Brad Price 	<ul style="list-style-type: none"> (764)764-0233 www.simplybiodegradable.com 	<ul style="list-style-type: none"> Washington 	<ul style="list-style-type: none"> Restaurant supply: compostable and/or recyclable to-go containers, biodegradable bags
<ul style="list-style-type: none"> World Centric Store 	<ul style="list-style-type: none"> 	<ul style="list-style-type: none"> 650-739-6699 www.worldcentric.org 	<ul style="list-style-type: none"> 2121 Staunton Ct Palo Alto 	<ul style="list-style-type: none"> Restaurant supply: compostable and/or recyclable to-go containers, biodegradable bags
<ul style="list-style-type: none"> Excellent Packaging and Supply 	<ul style="list-style-type: none"> Allen King 	<ul style="list-style-type: none"> (510)317-2737 www.excellentpackaging.com 	<ul style="list-style-type: none"> 3220 Blume Dr. Richmond 	<ul style="list-style-type: none"> compostable and biodegradable foodservice disposables, including SpudwareTM cutlery, Bagasse and Reed plates and take-out containers, NatureWorksTM PLA cups, soufflés and containers, and Mater-Bi Garbage Bags

- This list is not inclusive.*



Santa Cruz County Parks Facilities Use Permit

979 17th Avenue
 Santa Cruz CA, 95062
 Ph: (831) 454-7901 - Fax: (831) 454-7940
 www.scparks.com

Printed: May 17, 2013, 11:09 AM

COPY FYI

Contract #: 11341
 Date: Apr 11, 2013

User: Mary
 Status: Tentative *Firm*

Santa Cruz County Parks hereby grants to Santa Cruz AIDS Project, represented by Patricia Castagnola, herein "Permittee," permission to use the Parks facilities named below. This permission is subject to the limitations set forth in this document and in the attached and incorporated Terms and Conditions and Assumption, Waiver, and Indemnity documents.

- i) Purpose of Use: Special Event
Surf City AIDS Ride
- ii) Conditions of Use: Comply with attached Event Conditions of Use. If staff is unavailable, call County Dispatch at (831)471-1170.

iii) Date(s) and Time(s) of Use		# of Bookings: 2	Starting: September 22 2013 05:30 AM Ending: September 22 2013 07:30 PM				Expected: 300			
Facility/Equipment	Day	Start Date	Start Time	End Date	End Time	Fee	XFee	Tax	Total	
County Government Center - Grounds	Sun	Sep 22, 2013	05:30 AM	Sep 22, 2013	07:30 PM	\$296.62	\$0.00	\$0.00	\$296.62	
County Government Center - Parking Lot	Sun	Sep 22, 2013	05:30 AM	Sep 22, 2013	07:30 PM	\$0.00	\$200.00	\$0.00	\$200.00	

iv) Additional Fees *Per agreement #1, added 1.5 hrs \$31.75 balance due*

Extra Fee - Rental	Quantity	Charge	Tax	Total
*Special Event Fee	1	\$50.00	\$0.00	\$50.00
Extra Fee - Bookings	Hours	Quantity	Charge	Tax
Parking Space	14:00	100	\$200.00	\$0.00
	14:00	100	\$200.00	\$0.00
				\$200.00

v) Payment Method

Rental Fees	Extra Fees	Tax	Rental Total	Damage Deposit	Total Applied	Balance	Current
\$296.62	\$250.00	\$0.00	\$546.62	\$0.00	\$0.00	\$546.62	\$0.00

Balance of rental due and payable immediately.

*PA 6/4/13
#283417*

vi) Other Information

The undersigned states: The information I have provided to Parks is true and correct; If this Permit is issued to a group or entity, I am the authorized representative of the group or entity, and I am empowered to make this agreement on its behalf; I have received a copy of the Terms and Conditions and Assumption, Waiver, and Indemnity documents, and have read and understand them. Both individually and on behalf of the group or entity, I agree to them, and will comply with them as well as all laws and ordinances of the County of Santa Cruz, the State of California, and the United States.

X: *Patricia Castagnola*
 Patricia Castagnola

X: *[Signature]*
 Facilities Coordinator

Date: 5-28-13

Date: 9/16/13

Santa Cruz AIDS Project
 542 Ocean Street

Santa Cruz County Parks

Santa Cruz City CA 95060
 Home: ()
 Email: patriciac@scapsite.org

Business: (831)427-3900

ATTACHMENT 15



Santa Cruz County Parks
979 17th Avenue
Santa Cruz CA, 95062
Ph: (831) 454-7901 – Fax (831) 454-7940
www.scparks.com

Special Event Conditions of Use

This form is to accompany the Facility Permit Contract for the **Surf City AIDS Ride** to be conducted at **the Santa Cruz County Government Center Grounds/ Parking Lot.** If all the permit conditions are not complied with, County Parks can cancel the permit unilaterally.

Insurance: Provide \$1,000,000 General Liability insurance (per occurrence) naming the County as additionally insured (see attached) by September 3, 2013.

Dates and Times: Limit use to the dates and times designated on the permits.

Location: This rental is for a portion of the grounds and parking lot at the County Government Center. See diagram for designated areas and parking spaces included in the reservation. County employee, fleet and court parking must remain accessible during the event, as notated on the diagram.

Map: Provide a layout map to the Parks office indicating the location of activities and first aid by September 3, 2013.

First Aid Station: Provide a designated first aid station operated by Red Cross certified personnel. A volunteer EMT must be on site.

Publicity Materials: Forward publicity materials to the Parks Office by September 3, 2013. Publicity materials must include the following statement: "This event is accessible. Please call in advance for reasonable accommodation requests."

Impact Letter: Send a letter of information indicating the date and time of the event anticipated to the following agencies by September 3, 2013:

<input checked="" type="checkbox"/>	California Highway Patrol	<input checked="" type="checkbox"/>	Sheriffs Office
<input checked="" type="checkbox"/>	Local Fire District	<input checked="" type="checkbox"/>	County Public Works

Porta Potties: Permittee to provide 1 chemical toilet per 150 patrons and 1 wash station. Placement is notated in the diagram.

Trash and Recycle: Remove all trash and recycling from the parking lot and grounds that is generated by the event by the end time on the permit. Provide for a recycle program for plastic, glass, cardboard and other recyclables. Refer to the attached "Recycling Guidelines for Special Events in Santa Cruz County." Coordinate directly with the Santa Cruz County Commercial Waste Reduction Coordinator at (831)454-2160 to determine any trash and recycle container needs by September 3, 2013.

Delivery Schedule: Provide a written delivery schedule of items, i.e. porta potties, any trash and recycle containers, with expected times of drop off and pick up. Set-up may not start prior to reservation times on the contract. All deliveries must be picked up by 8:00 pm on September 22, 2013.

Grounds: No changes or modifications to the park facilities or grounds are permitted without written approval of County Parks.

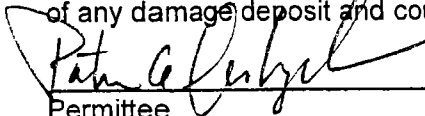
Clean up: Clean up and return the grounds and landscaping to conditions found prior to the event to the satisfaction of County Parks. Cost of clean up or damage repair required by County staff will be charged at \$43.00 /hour plus materials.

Codes and licenses: Comply with all Federal, State and County laws, ordinances and codes and have on display required licenses and/or permits necessary for the conduct of the event.

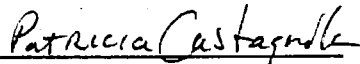
Workers: Persons employed by the user of park facilities to work with stage sets, scenery, rigging properties, lighting, sound equipment, or to perform other work of specialized or technical nature, including ushering and other duties, shall be experienced and competent and in every respect, qualified to perform their duties without jeopardy or hazard to life, property or equipment. State Workers Compensation Insurance requirements shall be in effect.

Cancellations: Reservations may be cancelled in person or in writing not less than 14 days prior to the scheduled event, with a permit processing fee of \$100.00 or 50% of the permit fee, whichever is less. Cancellations of less than 14 days receive no refund of fees.

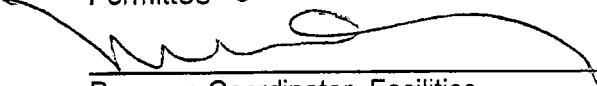
Failure to comply with all of the terms of the Special Events Conditions of use will result in forfeiture of any damage deposit and could result in denial of future County Park rentals.



Permittee



Patricia Castagnole



Program Coordinator- Facilities

5-28-13
Date

6/4/13
Date

INSURANCE

1. Permittee(s) shall assume all risks, incident to or connected with the event and defend, and hold harmless, the County of Santa Cruz, including without limitation, its officials, agents, employees, and volunteers from and against any and all claims, demands, losses, damages, defense costs, or liability of any kind or nature which County may sustain or incur or which may be imposed upon it for any injury or death of persons, or damage to property as a result of, arising out of, or in any manner connected with the performance under the terms of this Permit, excepting any liability arising out of the sole negligence of the County. Such indemnification includes any damage to the person(s), or property (is) of the County of Santa Cruz and third persons.
2. Permittee(s), at their sole cost and expense for the full term of this Permit (and any extensions thereof), shall obtain and maintain minimum compliance with all of the following insurance coverage(s) and requirements. Such insurance coverage shall be primary coverage as respects County and any insurance or self-insurance maintained by County shall be in excess of Permittee(s) insurance coverage and shall not contribute to it.
3. Automobile Liability Insurance for each vehicle used in the performance of this Permit, including owned, non-owned, leased, or hired vehicles, in the minimum amount of \$500,000.00 combined single limit per occurrence for bodily injury and property damage.
4. Comprehensive or Commercial General Liability Insurance coverage in the minimum amount of \$1,000,000.00 combined single limit, including coverage for:
 - a. Bodily injury
 - b. Personal injury
 - c. Broad form prop. Damage
 - d. Contractual liability
 - e. Cross Liability

All required Comprehensive or Commercial General Liability Insurance shall be endorsed to contain the following clause:

The County of Santa Cruz, its officials, employees, agents and volunteers are added as an additional insured as respects the operations and activities of, and on behalf of, the named insured's performance under its/his/her/their contract with the County of Santa Cruz.

6. All required insurance policies should be endorsed to contain the following clause:

This insurance shall not be cancelled until after thirty (30) days prior
Written notice has been given to:
Santa Cruz County
Department of Public Works – Parks Division
Attn: Mary Chavez
979 17th Avenue
Santa Cruz, CA 95062
7. Copies of all required insurance certificates must be submitted to the Parks office by September 3, 2013.



County of Santa Cruz

DEPARTMENT OF PUBLIC WORKS
PARKS, OPEN SPACE, AND CULTURAL SERVICES DIVISION

979 17TH AVENUE, SANTA CRUZ, CA 95062

(831) 454-7901 FAX: (831) 454-7940 TDD: (831) 454-7978

JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

Outdoor Facility Sound Permit

Please note the following conditions:

1. This permit is for sound in the following area only:

Government Center Grounds

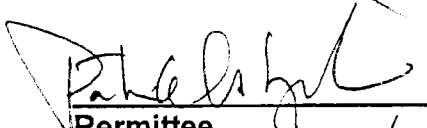
2. Sound is limited to one five-hour time period per day. For this permit the hours are:

From: 1:00 pm

To: 6:00 pm

On: September 22, 2013

3. Sound levels cannot exceed 75 decibels at a distance of 50 feet on the "A" weighted network of a sound level meter.
4. Park Service Officer will monitor sound level to insure compliance with the above sound conditions.
5. Violation of conditions of this permit will result in the revocation of the facility permit and forfeiture of any damage deposit.
6. Permittee is required to present this permit to a representative of Santa Cruz County Parks or Sheriff's Deputy upon request.
7. I have read, understand and agree to the above conditions.


Permittee

Patricia Castagnola
SCAP/SCCCO


Facility Representative

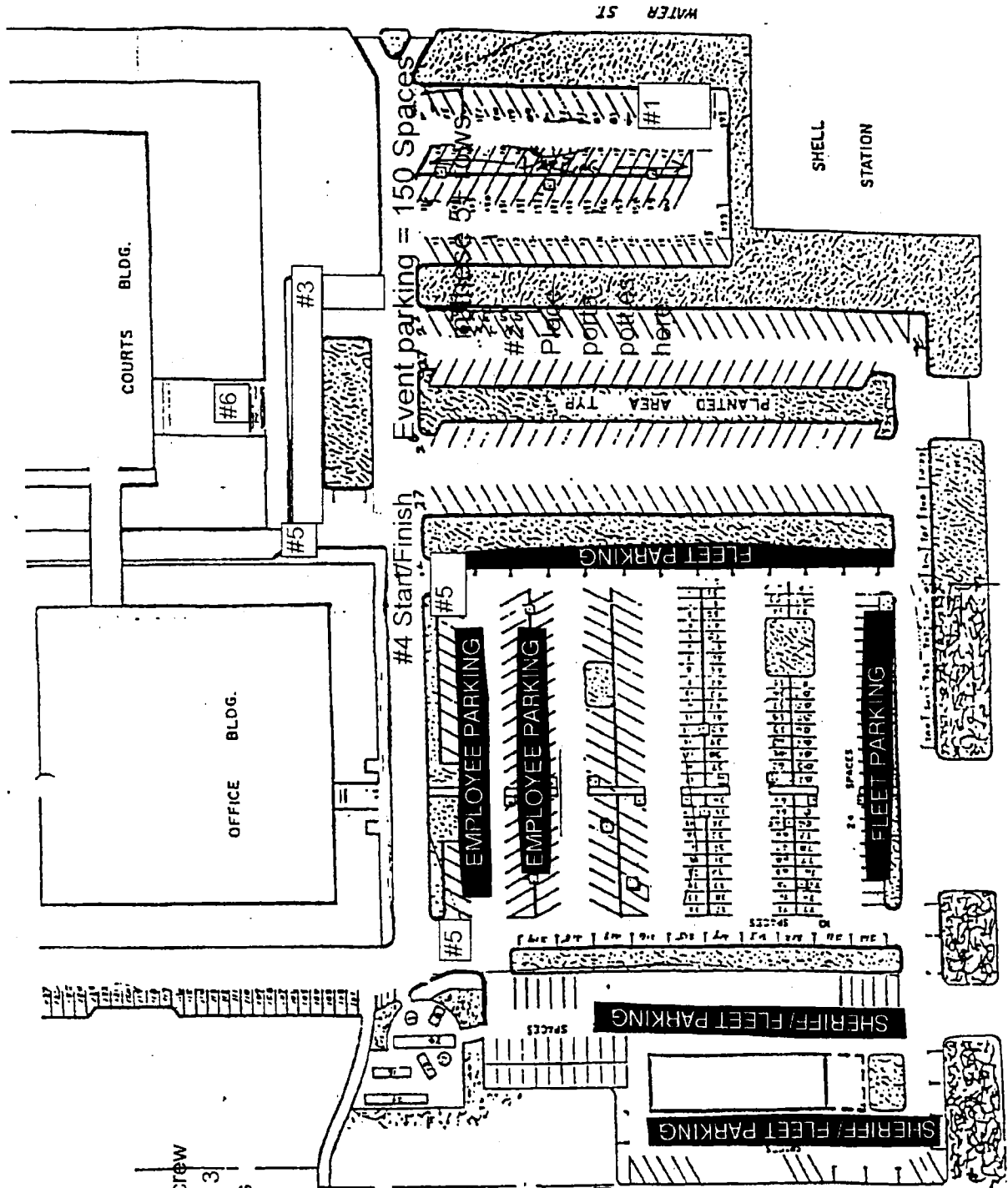

Date

ATTACHMENT 15

Santa Cruz AIDS Ride
 Surf City AIDS Ride
 September 22, 2013
 Map lay out key.

- #1. Staging for SAG/Moto crew
- #2. Portable toilets- total of 3
- #3. Registration/food tables
- #4 Start and Finish line
- #5. Area block from traffic.
- #6. Massage tables -2-3 and music(to be determine).

NOTE:
 For parking we should add the row next to left of the ones we reserved for last year. see sticky note.





Santa Cruz
Community Counseling Center
Community Support Services

542 Ocean Street
Santa Cruz, CA 95060
Phone: (831) 459-0444
Fax: (831) 459-0665
www.scccc.org

Casa Pacific
El Dorado Center
Enhanced Support
Services Team
Housing Support Program
Money Management
Program
River Street Shelter
Transition (Crisis) House
Transition-Age Youth
Program
S.C. AIDS Project
2nd Story

California Highway Patrol
Coastal Division – Santa Cruz
10395 Soquel Dr
Aptos, CA

August 12, 2013

To Whom It May Concern:

My name is Christine Garcia, and I am aiding the Santa Cruz AIDS Project in securing permits for their Surf City AIDS Ride, which we mean to take place on September 22, 2013. This is my first time assisting them, and as you may imagine, I'm a little confused as to some processes.

Some permit applications require a Letter of Support (or, Letter of Approval) from the CHP. Thanks to CalTrans I was able to get an idea of just what that entails, and have included an application with this letter. However, the event has never required the presence of CHP at any intersections; we just need you to be aware that there is an event going on. Are the attached application and this letter enough to let you know of our intentions?

I notice that there is no room to let you know where we need Letters of Support sent to; should I include that information here? (I will attach a list, just in case.)

My contact information is below, if there is anything else you need from us.

Thank you for your time.

Regards,

Christine

(831) 459-0444 x 200
christine.garcia@scccc.org
542 Ocean St Ste K, Santa Cruz, CA 95060

A service component of the Santa Cruz Community Counseling Center



CalTrans

Attn: Carla Moreno
District 5 Permits
50 Higuera Street
San Luis Obispo, CA 93401
<carla.moreno@dot.ca.gov>

Santa Cruz County

Attn: Anwarbeg Mirza
Santa Cruz County Public Works
701 Ocean St, Room 410
Santa Cruz, CA 95060
<dpw220@co.santa-cruz.ca.us>

San Benito

Attn: Evelia Gomez
San Benito County Sheriff
451 Fourth St
Hollister, CA 95023
<EGomez@sbcsheriff.org>

Monterey County

Attn: Dennis Esteban
Monterey County Public Works, Encroachments
168 W Alisal St, FL2
Salinas, CA 93901
<estebang@co.monterey.ca.us>

SURF CITY AIDS RIDE

2013



WE CAN END HIV/AIDS TOGETHER.

12, 30, 60 and 100 mile cycling routes for ALL cyclists!

SUNDAY • SEPTEMBER 22
SANTA CRUZ





**NON-COMMERCIAL PERMIT
CONDITIONS OF USE**

SCAP'S SURF CITY AIDS RIDE

Bike Ride Through City of Santa Cruz

Sunday, September 22, 2013 • 4:00 a.m.–8:00 p.m.

EVENT AND CONTACT PERSON

- 1) This event is a fundraising bicycle ride with varied routes throughout the County of Santa Cruz that includes some City streets. The event begins and ends at the County of Santa Cruz Court House. There will be a motorcycle safety team traveling with the riders.
- 2) Beyond traveling on City streets, no City properties will be used.
- 3) Permittee will work directly with other jurisdictions and/or private property owners/managers as needed for activities scheduled in their areas.
- 4) The event will set-up from 4:00 a.m. to 6:00 a.m. on County Property at 701 Ocean Street adjacent to San Lorenzo Park. Riders will be traveling through the City from 6:00 a.m. to 7:00 p.m.
- 5) Permittee must designate an event coordinator (Patricia Castagnola\Mobile #: 831-325-5702) who will be on site during the event and has the authority to make decisions about problems that may occur during this event. Event coordinator must be available by cell phone during the entire event.
- 6) Permittee shall maintain a copy of the permit on site at all times, and it must be made available for inspection by any Santa Cruz City Official.
- 7) Permittee anticipates that there will be two hundred (200) adults and fifty (50) youth in attendance.
- 8) Permittee shall be responsible for all street clean up or shall reimburse the City, at overtime rates, to provide such service.
- 9) Permittee shall be responsible for any damage to landscape plantings, structures, and irrigation systems.
- 10) Permittee must obey all Federal, State, and local laws during the event.

EVENT LOGISTICS

- 11) No streets will be closed in the City of Santa Cruz for this event. Permittee must supply the Special Events Office (Fax #: 832-420-5011 Attn: Kathy or kagnone@cityofsantacruz.com) and the Santa Cruz Police Department (Fax #: 831-420-5181 Attn: Sgt. Scott Garner sgarner@cityofsantacruz.com) with a copy of the bike street route no later than three (3) weeks prior to the event.
- 12) The ride is noncompetitive. All participants must follow vehicle code and City ordinances or risk citation for violations.

- 13) There will be no rest stops within the City of Santa Cruz. No City of Santa Cruz services are needed or required. City police escorts are not required.
- 14) If Permittee will mark sections of the route within the City of Santa Cruz, materials used must be removed within two (2) days. No paints or chalks that cannot be removed promptly may not be used. Water or materials from clean-up may not be dispersed into street and/or wastewater drains due to beach contamination. Significant fines may be levied if not in compliance.
- 15) Permittee shall ensure that participants do not impede, block, or obstruct vehicular, pedestrian, or other traffic within the City of Santa Cruz.
- 16) Permittee shall ensure that any sidewalk or business entrance within the City of Santa Cruz. is not blocked during this event.
- 17) Participants are required to wear helmets and observe all of the rules of the ride.
- 18) Permittee and participants shall adhere to the requests of all City and emergency personnel.

RESERVED PARKING

- 19) Permittee has not requested reserved parking from the City of Santa Cruz.
- 20) Permittee and staff/volunteers will be responsible for paying parking fees for City parking spaces or lots as necessary.

AMPLIFIED SOUND AND ELECTRICAL

- 21) The event is on County of Santa Cruz property; therefore the City will not be issuing an amplified sound permit.
- 22) The opening/closing event is on County of Santa Cruz property; therefore the City will not be providing electricity.

GARBAGE/RECYCLING AND PORTABLE RESTROOMS

- 23) The event is primarily on County of Santa Cruz property; therefore no garbage service is required for this event from the City of Santa Cruz.
- 24) The event is primarily on County of Santa Cruz property; therefore no portable restrooms are required for this event by the City of Santa Cruz.

COMMERCIAL SALES, ADMISSION TAX, FOOD/ALCOHOL, AND PLASTIC BAGS

- 25) Commercial sales are not approved on public property within the City of Santa Cruz.
- 26) No admittance fee will be charged on public property within the City of Santa Cruz.
- 27) Food will not be served or sold in association with this event on public property within the City of Santa Cruz.
- 28) No alcoholic beverages shall be consumed or sold in association with this event on public property within the City of Santa Cruz.

ATTACHMENT 15

- 29) Effective April 10, 2013, per §6.49.020 of Ordinance No. 2013-03, no City of Santa Cruz contractors, special events promoters, or their vendors, while performing under contract or permit within the City of Santa Cruz, shall provide plastic carry out bags to customers. Plastic bags include both compostable and non-compostable carry out bags.

INSURANCE REQUIREMENTS/WAIVERS

- 30) Permittee shall provide the City of Santa Cruz with a certificate of insurance for standard form commercial general liability insurance coverage in the amount of \$1,000,000 with an endorsement page, acceptable to the City, no later than fourteen (14) days prior to the event.
- 31) Permittee has signed an indemnification and hold harmless agreement prepared by the City's Risk Manager as part of the application packet.
- 32) Permittee shall require all participants to sign a release of liability form in favor of the City, its Officers, Agents, and Employees. Permittee shall submit a sample waiver to the Special Events Office, for the Risk Manager's approval, no later than fourteen (14) days prior to the event.

GENERAL INFORMATION/ADVERTISING

- 33) Permittee shall assume all responsibility for advertisement and shall be responsible for the removal of all signs, flyers, and advertisement regarding this event.
- 34) The City reserves the right to change any of the above conditions if it is deemed necessary.
- 35) Failure to comply with any of the above conditions may be cause for revocation of this permit or jeopardize future approvals for similar events.

I have read, understand, and will comply with the Conditions of Use as listed in this and other required permits and/or documents.

PATRICIA CASTAGNOLI SANTA CRUZ AIDS Project
 Event Permittee Name

Patricia Castagnoli 8-12-13
 Event Permittee Signature Date

Return signed conditions to: City Manager's Office/Special Events
 809 Center Street, Room 10
 Santa Cruz, CA 95060
 831-420-5132
 Fax #: 831-420-5011
kagnone@cityofsantacruz.com

KA

Mary Chavez

From: Patricia Castagnola <Patricia.Castagnola@scccc.org>
Sent: Friday, September 13, 2013 3:22 PM
To: Mary Chavez
Subject: Surf City AIDS Ride

Hi Mary,

I just faxed off a copy of the insurance. Please let me know if you got it.

Portable toilets will be delivered at 5:30 am and picked up between 7-7:30 PM.
We will be there around 4pm.

Please let me know if you need anything else.

Thank you.

Patricia

Patricia Castagnola
Program Manager
Santa Cruz AIDS Project
Santa Cruz Community Counseling Center
542 Ocean Street
Suite J
Santa Cruz, CA 95060
831-427-3900, Ext. 111

Notice to recipient: This communication is intended for the person(s) to whom it is addressed and may contain information that is protected by Federal and/or State law. If you receive this in error, any review, use, dissemination, distribution, or reproduction is strictly prohibited. Please notify us immediately by telephone or email and delete the email and any attachment from your system. Thank you for your cooperation.

 Help the environment and don't print this email unless you really need to!

ATTACHMENT 15

SCCOM-1

OP ID: RD



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
08/29/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER
Clarion Pacific Insurance Serv
783 Rio Del Mar Blvd ste: 41
Aptos, CA 95003
Craig Deane

Phone: CONTACT NAME: Ryan Deane
Fax: PHONE (A/C, No, Ext): 831-421-2266 FAX (A/C, No):
E-MAIL ADDRESS: ryan@pac-risk.com

INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A:	Non Profit Insurance Alliance	18622
INSURER B:	of California	
INSURER C:		
INSURER D:		
INSURER E:		
INSURER F:		

INSURED
Santa Cruz Community
Counseling Center, Inc.
CFSC, Inc.
Counseling Center, Inc.
195 Harvey West Blvd., Suite A
Santa Cruz, CA 95060

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADOL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	X	2013-00240	06/30/2013	06/30/2014	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 20,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 3,000,000 PRODUCTS - COMP/OP AGG \$ 3,000,000 Emp Ben. \$ 1,000,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS		2013-00240	06/30/2013	06/30/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ EACH OCCURRENCE \$ AGGREGATE \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> N/A (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
The County of Santa Cruz, its officials, employees, agents and volunteers are added as an additional insured as respects the operations and activities of, and on behalf of the named insured's performance under its contract with the County of Santa Cruz. 30 day notice of cancellation will be mailed to the certificate holder, 10 day notice for non payment of premium.

CERTIFICATE HOLDER County of Santa Cruz Department of Public Works Parks Division - Mary Chavez 979 17th Avenue Santa Cruz, CA 95062	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE

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**COUNTY OF SANTA CRUZ
DEPARTMENT OF PUBLIC WORKS - PARKS DIVISION
INTER-OFFICE CORRESPONDENCE**

DATE: September 16, 2013
TO: Department Heads
FROM: John J. Presleigh, Director
SUBJECT: Santa Cruz AIDS Ride September 22, 2013

Santa Cruz AIDS Project will hold the annual Santa Cruz AIDS Ride on Sunday, September 22, 2013 from 4:00 am to 7:30 pm at the Government Center grounds and parking lot.

The event includes the staging for the start and finish lines, race registration and afternoon music for the returning riders. Set-up will take place from 4:00 am to 7:00 am. The event heats will run hourly from 7:00 am to 10:00 am for the various mile lengths. Volunteers will stay on-site to welcome back riders who will return between 1:00 pm to 6:00 pm, which includes light event music. All clean-up will be completed by 7:30 pm.

All rental equipment and porta potties will be delivered and removed on Sunday, the 22nd. Please see the attached map of the event layout for more information.

Of special note: Only the Employee and Fleet parking will remain available for the Government Center's use, as shown in the attached diagram. Director's row and designated court parking will be unavailable due to the event set-up, parking and areas used for start and finish lines. They will have on-site coordinators who will block vehicle access near main office building. Thank you for your understanding and cooperation.

If you have any questions or concerns, please call Mary Chavez, Program Coordinator- Facilities, at extension 7954.



Santa Cruz County Parks Facilities Use Permit

979 17th Avenue
 Santa Cruz CA, 95062
 Ph: (831) 454-7901 - Fax: (831) 454-7940
 www.scparks.com

Printed: Jul 09, 2013, 10:29 AM

COPY
FYI

Contract #: 11635
 Date: Jul 03, 2013

User: Mary
 Status: Tentative *Firm*

Santa Cruz County Parks hereby grants to Ben Lomond Firefighters Association, represented by Todd Ellis, herein "Permittee," permission to use the Parks facilities named below. This permission is subject to the limitations set forth in this document and in the attached and incorporated Terms and Conditions and Assumption, Waiver, and Indemnity documents.

- i) Purpose of Use: Special Event
Ben Lomond Firefighter's Association Celebration
- ii) Conditions of Use: Comply with attached Event Conditions of Use. If staff is unavailable, call County Dispatch at (831)471-1170.

iii) Date(s) and Time(s) of Use	# of Bookings: 2	Starting: September 13 2013 03:00 PM	Ending: September 14 2013 11:00 PM	Expected: 500					
Facility/Equipment	Day	Start Date	Start Time	End Date	End Time	Fee	XFee	Tax	Total
Ben Lomond Park - Grounds	Fri	Sep 13, 2013	03:00 PM	Sep 13, 2013	05:00 PM	\$38.62	\$0.00	\$0.00	\$38.62
Ben Lomond Park - Grounds	Sat	Sep 14, 2013	08:00 AM	Sep 14, 2013	11:00 PM	\$289.69	\$0.00	\$0.00	\$289.69

iv) Additional Fees: *Fee was applied to toward rental fees. \$75.00 balance due for permit processing (special event paperwork) me*

v) Payment Method	Rental Fees	Extra Fees	Tax	Rental Total	Damage Deposit	Total Applied	Balance	Current
	\$328.31	\$0.00	\$0.00	\$328.31	\$0.00	\$0.00	\$328.31	\$0.00

Balance of rental due and payable immediately.

\$75.00
pd 9/13/13
#294670

vi) Other Information

The undersigned states: The information I have provided to Parks is true and correct; If this Permit is issued to a group or entity, I am the authorized representative of the group or entity, and I am empowered to make this agreement on its behalf; I have received a copy of the Terms and Conditions and Assumption, Waiver, and Indemnity documents, and have read and understand them. Both individually and on behalf of the group or entity, I agree to them, and will comply with them as well as all laws and ordinances of the County of Santa Cruz, the State of California, and the United States.

X: *Todd Ellis*
 Todd Ellis
 Date: 7/22/13
 Ben Lomond Firefighters Association
 PO Box 27
 Ben Lomond CA 95005
 Home: ()
 Email: toddellis@yahoo.com

X: *Mary*
 Facilities Coordinator
 Date: 9/9/13
 Santa Cruz County Parks



Santa Cruz County Parks
979 17th Avenue
Santa Cruz CA, 95062
Ph: (831) 454-7901 – Fax (831) 454-7940
www.scparks.com

Special Event Conditions of Use

This form is to accompany the Facility Permit Contract for **Ben Lomond Firefighter's Association Celebration** to be conducted at **Ben Lomond Dam Park** If all the permit conditions are not complied with, the Department may cancel the event unilaterally.

Dates and Times: Limit use to the dates and times designated on the permits.

Insurance: Provide \$1,000,000 General Liability insurance (per occurrence) naming the County as additionally insured (see attached) by August 26, 2013.

Parks meeting: Attend an organizational meeting with Park Maintenance staff on: TBD.

Grounds: No changes or modifications to the park facilities or grounds are permitted without written approval of County Parks. Use of foundation stakes is not permitted.

Clean up: Clean up and return the grounds and landscaping to conditions found prior to the event to the satisfaction of County Parks. This shall include, but not be limited to, recycling, trash pick-up, landscape restoration, turf rebuilding, sod replacement and sprinkler system repair. Restoration must be completed by September 15, 2013. Cost of clean-up or damage repair required by County staff will be charged at \$43.00 / hour plus materials.

Map: Provide a layout map to County Parks indicating the location of activities, vendors, stage, porta potties and first aid by August 26, 2013.

First Aid Station: Provide a designated first aid station operated by Red Cross certified personnel. A volunteer EMT must be on site.

Handicapped access: Provide adequate handicapped accessibility.

Publicity Materials: Must include the following: parking, public phone number and this statement: "This event is accessible. Please call in advance for reasonable accommodations requests."

Codes and licenses: Comply with all Federal, State and County laws, ordinances and codes; and have on display required licenses and/or permits necessary for the conduct of the event and/or booths or displays that are part of the event. For food booths, this includes health permits and compliance with County waste reduction and recycling requirements. Obtain and comply with all required licensing agreements. Provide a copy of any street closure permit if event set-up expands into Mill Street.

Barriers: Place barriers, rope off and/or patrol use area in order to discourage foot and vehicular traffic on planted areas. Fencing must be outside of irrigation lines.

Impact letters: Send a letter of information indicating the dates and time of the event, anticipated impact upon traffic, and a parking plan to the following agencies at least three weeks prior to the event:

California Highway Patrol

Sheriffs Office

County Public Works

Sound Permit: Limit amplified sound to the hours of the event as approved by Special Event Sound Permit.

Alcohol Permit: An ABC permit must be filed with the Parks office five days before the event date. Limit alcohol service and consumption to the hours of the event as approved by Special Event Alcohol Permit. Provide a written alcohol beverage service plan.

Smoking: Smoking is prohibited in County Parks.

Trash and Recycle: Remove all trash from the park that is generated by the event by the end time on the permit. Provide for a recycle program for plastic, glass, cardboard and other recyclables. Refer to the attached "Recycling Guidelines for Special Events in Santa Cruz County." Coordinate directly with the Santa Cruz County Commercial Waste Reduction Coordinator (831)426-2711 to determine dumpster, trash and recycle container needs by August 26, 2013.

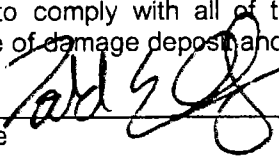
Porta Potties: Permittee to provide a minimum of 3 chemical toilets.

Delivery Schedule: Provide a written delivery schedule of items, including porta potties, trash and recycle containers, and any stage, with expected times of drop off and pick up. Set-up may not start prior to reservation times on the contract. All deliveries must be removed by Monday, September 16, 2013.

Fees: Fee waivers may take place through the completion of a Fee Waiver Request Form following the Fee Waiver Policy. A fee waiver for multiple years may be considered per this approval process. Administrative staff fees may not be waived (\$25.00 permit processing fee and \$50.00 special event fee) in order to cover staff costs to process and oversee the contract paperwork for a special event.

Failure to comply with all of the terms of the Special Events Conditions of use will result in forfeiture of damage deposit and could result in denial of future County Park rentals.

Permittee



Date

7/22/13

Program Coordinator -Facilities



Date

8/20/13



JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

County of Santa Cruz

DEPARTMENT OF PUBLIC WORKS PARKS, OPEN SPACE, AND CULTURAL SERVICES DIVISION

979 17TH AVENUE, SANTA CRUZ, CA 95062
(831) 454-7901 FAX: (831) 454-7940 TDD: (831) 454-7978

Alcohol Permit for Special Events

Please note the following conditions:

1. This permit is for the sale of beer, wine and champagne only.
2. Permittee is required to have a valid California State ABC permit on file with the Parks Department five days before the event date.
3. Permittee is responsible for providing all servers with basic training in the laws affecting alcoholic beverage service.
4. Permittee must provide the the Department of Public Works- Parks Division with \$1,000,000 Alcohol Liability Insurance as specified in the Special Event Conditions of Use.
5. Permittee is required to file a written alcoholic beverage service plan with the County Parks along with the ABC permit. This plan will identify event day contact person and include information on how I.D. checks will be done and how servers will determine when to stop serving to intoxicated patrons.
6. This permit allows alcohol service at Ben Lomond Dam County Park during the following hours only:

From: 11:00 am to: 10:00 pm on September 14, 2013

7. Violation of conditions of this permit will result in the revocation of this permit and the forfeiture of any damage deposit.
8. Facility attendant will notify permittee or designated representative if conditions are not being met.
9. I have read, understand and agree to the above conditions.

Permittee

Date

Program Coordinator- Facilities

ATTACHMENT 15



JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

County of Santa Cruz

DEPARTMENT OF PUBLIC WORKS PARKS, OPEN SPACE, AND CULTURAL SERVICES DIVISION

979 17TH AVENUE, SANTA CRUZ, CA 95062
(831) 454-7901 FAX: (831) 454-7940 TDD: (831) 454-7978

Special Event Sound Permit

Please note the following conditions:

1. This sound permit for Ben Lomond Dam Park on the following day(s) and times only:

From: 11:00 am to 10:00 pm on September 14, 2013

A sound check may be done no earlier than 9:00 am on the day of the event and no later than 7:00 pm the evening before.

2. Sound levels cannot exceed 100 decibels at a distance of 50 feet on the "A" weighted network of a sound level meter.
3. Facility attendant will monitor sound level to insure compliance with the above sound conditions.
4. Violation of conditions of this permit will result in the forfeiture of the damage deposit and revocation of this permit.
5. I have read, understand and agree to the above conditions.

Permittee

7/22/13
Date

Program Coordinator- Facilities

ATTACHMENT 15



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
06/18/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER 0726293 1-415-546-9300 Arthur J. Gallagher & Co. Insurance Brokers of California, Inc., License #0726293 One Market Plaza, Spear Tower Suite 200 San Francisco, CA 94105 Loann Le	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">CONTACT NAME:</td> </tr> <tr> <td>PHONE (A/C, No, Ext):</td> <td>FAX (A/C, No):</td> </tr> <tr> <td colspan="2">E-MAIL ADDRESS:</td> </tr> <tr> <td colspan="2" style="text-align: center;">INSURER(S) AFFORDING COVERAGE</td> </tr> <tr> <td style="width: 80%;">INSURER A: AMERICAN ALT INS CORP</td> <td>NAIC # 19720</td> </tr> <tr> <td colspan="2">INSURER B:</td> </tr> <tr> <td colspan="2">INSURER C:</td> </tr> <tr> <td colspan="2">INSURER D:</td> </tr> <tr> <td colspan="2">INSURER E:</td> </tr> <tr> <td colspan="2">INSURER F:</td> </tr> </table>	CONTACT NAME:		PHONE (A/C, No, Ext):	FAX (A/C, No):	E-MAIL ADDRESS:		INSURER(S) AFFORDING COVERAGE		INSURER A: AMERICAN ALT INS CORP	NAIC # 19720	INSURER B:		INSURER C:		INSURER D:		INSURER E:		INSURER F:	
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INSURER F:																					
INSURED Ben Lomond FPD P O Box 27 Ben Lomond, CA 95005																					

COVERAGES **CERTIFICATE NUMBER: 34244876** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

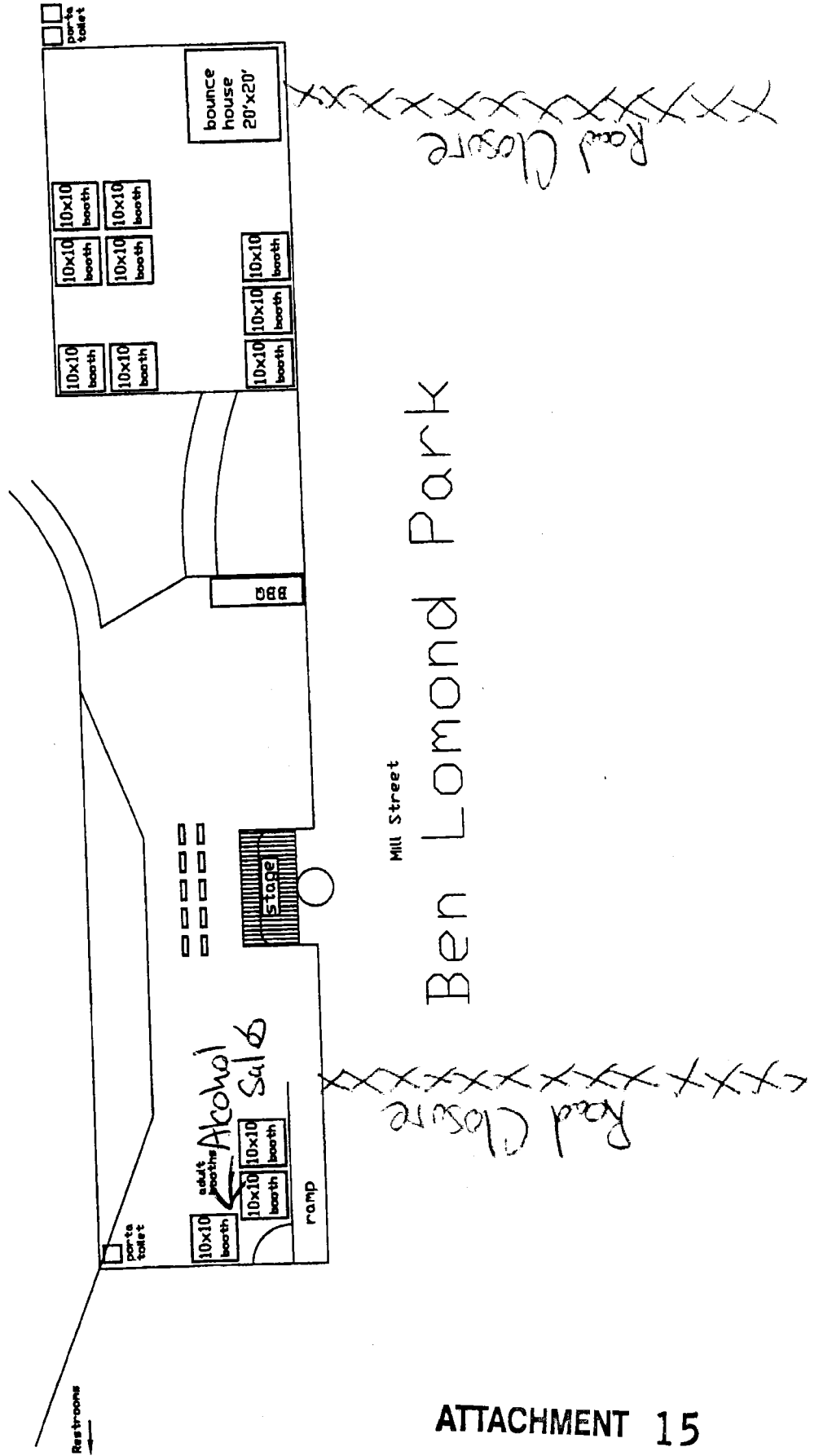
INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
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	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y/N N/A				WC STATU-TORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

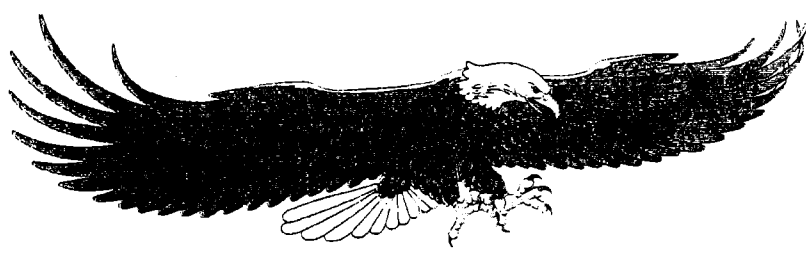
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
 RE: Use of park for BBQ with live music and beer and wine. Does not cover Bounce House
 **Host Liquor Liability included in General Liability
 ADDITIONAL INSURED(S): The County of Santa Cruz, its officials, employees, agents and volunteers are added as an additional insured as respects the operations and activities of, and on behalf of, the named insured's performance under its/his/her/their contract with the County of Santa Cruz

CERTIFICATE HOLDER Santa Cruz County Department of Public Works - Parks Division Attn: Mary Chavez 979 17th Avenue Santa Cruz, CA 95062 USA	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
--	--



San Lorenzo River





BEN LOMOND FIRE DEPARTMENT AUXILIARY
Post Office Box 27 Ben Lomond Ca, 95005

To Whom it may concern,

08/12/2013

The Ben Lomond Firefighters Association is putting on our annual "DAY In The Park" fundraiser on Saturday September 14th from 10:00 AM through 11:00 PM. All the necessary permits are being completed.

It will take place at Ben Lomond Dam Park on Mill Street. We are also closing a small portion of Mill St directly in front of the park. There will be some slowing due to traffic and parking, but we have secured parking at the church on Love Creek road.

Please contact me if you have any questions.

Todd Ellis

Association President

toddellis@yahoo.com

831-588-2001

sent to:

CHP, Sheriff's Office & Public Works

8/12/13

Day in the Park Alcohol Plan

We will be serving beer and wine at the Ben Lomond Dam Park from 11:00 AM until 6:00 PM.

The alcohol is being served at one extreme end of the park while bounce house and kids activities are at the far other end, with music and BBQ in the middle.

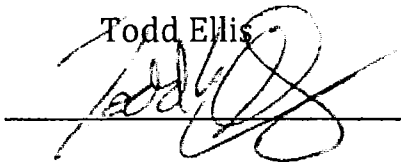
We will have an ID check table with experienced adults checking ID's then issuing wristbands and selling drink tickets.

Two drinks will be issued at any given time.

The sales are being tended by 2 professional bartenders who will re card an individual if they feel age is suspicious.

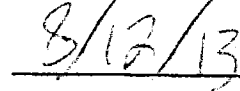
If any individual has been deemed to have had too much they will be cut off by servers from additional alcohol.

Todd Ellis



Ben Lomond Fire Auxiliary President

Date





County of Santa Cruz 0623

DEPARTMENT OF PUBLIC WORKS

701 OCEAN STREET, ROOM 410, SANTA CRUZ, CA 95060-4070
(831) 454-2160 FAX (831) 454-2385 TDD (831) 454-2123

JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

AGENDA: AUGUST 6, 2013

July 25, 2013

SANTA CRUZ COUNTY BOARD OF SUPERVISORS

701 Ocean Street
Santa Cruz, California 95060

SUBJECT: DAY IN THE PARK FUNDRAISER, SATURDAY, SEPTEMBER 14, 2013

Members of the Board:

The Ben Lomond Fire District has requested permission to hold its Day in the Park Fundraiser at the Ben Lomond County Park on Saturday, September 14, 2013. The celebration will consist of music, barbeque, children's activities, and vendor booths.

To facilitate the planned event, it will be necessary to close a portion of Mill Street adjacent to the park from 11:00 a.m. until 10:00 p.m. The closure of Mill Street will begin at Main Street and end 300 feet west of Main Street (see attached map).

It is recommended that the Board of Supervisors take the following actions:

1. Approve the road closure and permit for the September 14, 2013, Day in the Park Fundraiser, subject to the conditions on the attached permit.

2. Direct Public Works to issue the event permit for the Day in the Park Fundraiser, upon receipt of the \$330 processing fee for a new event.

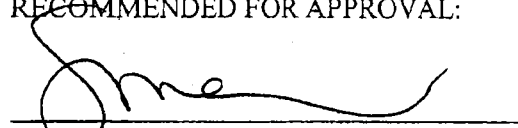
Yours truly,


JOHN J. PRESLEIGH
Director of Public Works

JJP:JSD:sh

Attachments

RECOMMENDED FOR APPROVAL:

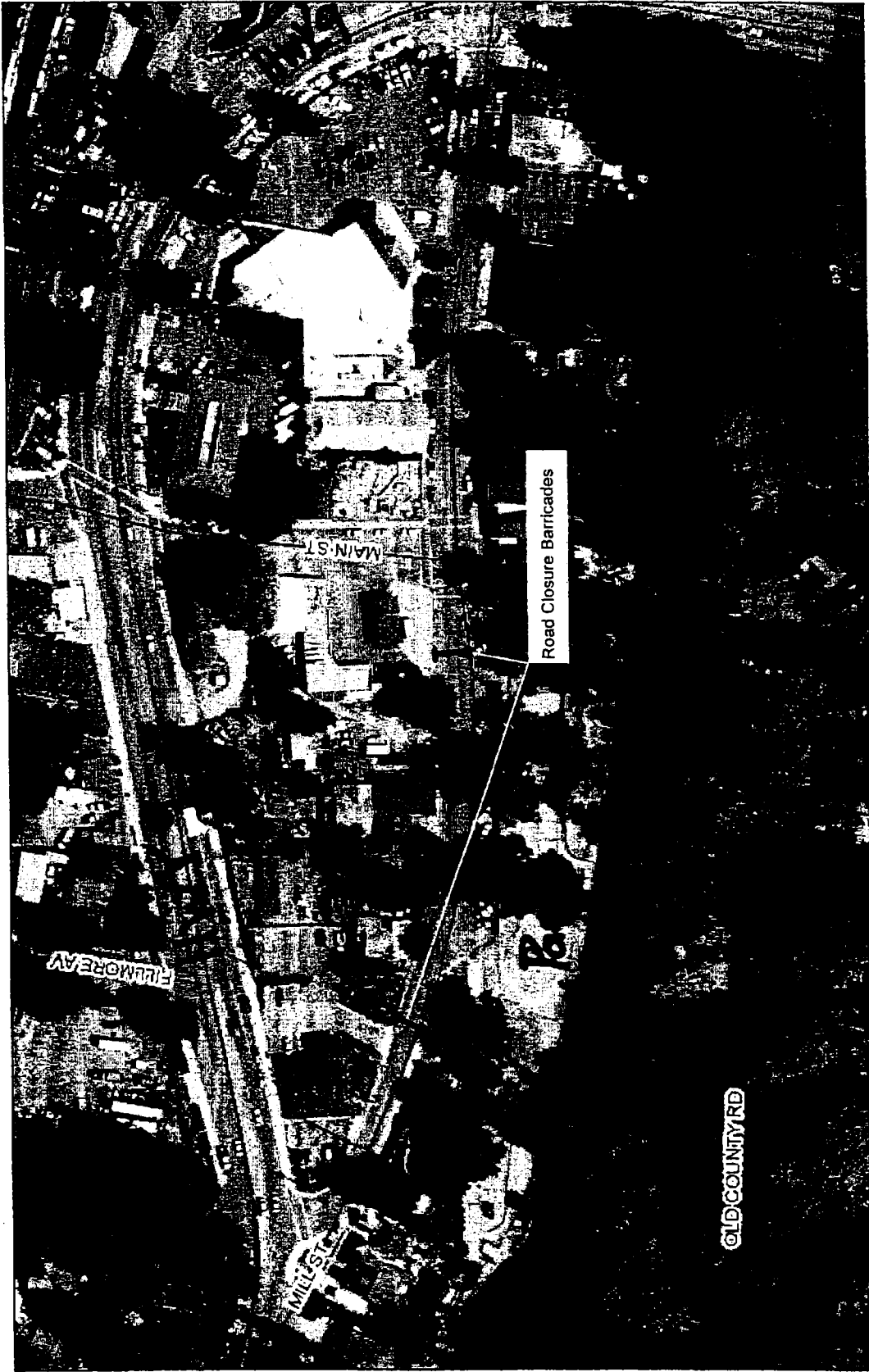


SUSAN A. MAURIELLO
County Administrative Officer

Copy to: Sheriff's Office (w/a)
 Todd Ellis, Ben Lomond Fire District (w/a)
 California Highway Patrol (w/a)
 American Medical Response West
 Public Works
 Parks

event-dayinpark-Ben Lomond.doc

Day In The Park Fundraiser



0625

OLD COUNTRY RD



JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

County of Santa Cruz 0626

DEPARTMENT OF PUBLIC WORKS

701 OCEAN STREET, ROOM 410, SANTA CRUZ, CA 95060-4070
(831) 454-2160 FAX (831) 454-2385 TDD (831) 454-2123

TODD ELLIS
BEN LOMOND FIRE DISTRICT
9430 Highway 9
Ben Lomond, CA 95005

SUBJECT: DAY IN THE PARK FUNDRAISER, SATURDAY, SEPTEMBER 14, 2013

Pursuant to the Board of Supervisors' action dated August 6, 2013, a permit to hold the Day in the Park Fundraiser and close a portion of Mill Street on Saturday, September 14, 2013, from 11:00 a.m. until 10:00 p.m., is granted with the following conditions:

1. Street closure barricades with detour signs shall be placed at the following locations:
 - a. Mill Street, just west of the Mill Street and Main Street intersection
 - b. Mill Street, 300 feet west of Main Street
2. PERMITTEE shall furnish, at its own expense, all barricades, signs, traffic control devices, incidentals, and personnel to comply with all permit conditions.
3. Access shall be provided to emergency vehicles.
4. Immediately following the Fundraiser and event, a clean-up shall be made of the entire closure.
5. The PERMITTEE shall provide verification that it has met with the California Highway Patrol and the Santa Cruz County Sheriff's Office to coordinate final traffic control plans and enforcement. The PERMITTEE shall also provide verification that each agency has been supplied with an event route map. Verification shall be provided to the County of Santa Cruz at least 30 days prior to the event.
6. The PERMITTEE shall place "Temporary No Parking" signs along Mill Street within the closure area. The signs shall prevent parking within the closure from 11:00 a.m. to 10:00 p.m.
7. The PERMITTEE shall be responsible for any damage to landscaping, fences, or private property on and adjacent to the event closure area.

8. The PERMITTEE shall exonerate, indemnify, defend, and hold harmless, the County of Santa Cruz, including without limitation, its officers, agents, employees and volunteers from and against any and all claims, demands, losses, damages, defense costs, or liability of any kind or nature, including attorney's fees, which the County may sustain or incur or which may be imposed upon it for injury to or death of persons, or damage to property as a result of, arising out of, or in any manner connected with the event or PERMITTEE's performance under the terms of this Permit, excepting any liability arising out of the sole negligence of the County. Such indemnification includes any damage to the person(s), or property(ies) of the County of Santa Cruz and third persons.
9. This permit does not grant permission to use private property. The Ben Lomond Fire District shall be responsible for all arrangements in the use of private property for parking, assembly, and event areas.
10. The PERMITTEE, at its sole cost and expense, for the full term of this permit (and any extensions thereof), shall obtain and maintain at minimum compliance with all of the following insurance coverage(s) and requirements. Such insurance coverage shall be primary coverage as respects County and any insurance or self-insurance maintained by County shall be excess of the PERMITTEE insurance coverage and shall not contribute to it.
 - a. Automobile Liability Insurance for each vehicle used in the performance of this Permit, including owned, non-owned (i.e. not owned by the PERMITTEE, its staff or employees or volunteers), leased or hired vehicles, in the minimum amount of \$1,000,000 combined single limit per occurrence for bodily injury and property damage.
 - b. Comprehensive or Commercial General Liability Insurance coverage in the minimum amount of \$1,000,000 combined single limit, including coverage for: (a) bodily injury, (b) personal injury, (c) broad form property damage, (d) contractual liability, and (e) cross-liability.
11. All required Automobile and Comprehensive or Commercial General Liability Insurance shall be endorsed to contain the following clause:

"The County of Santa Cruz, its officials, employees, agents and volunteers are added as an additional insured as respects the operations and activities of, or on behalf of, the named insured performed under permit with the County of Santa Cruz."

12. All required insurance policies shall be endorsed to contain the following clause:

“This insurance shall not be cancelled until after thirty (30) days prior written notice has been given to:

County of Santa Cruz, Department of Public Works
Road Operations, Senior Civil Engineer
701 Ocean Street, Room 410
Santa Cruz, CA 95060”
13. The PERMITTEE agrees to provide its insurance broker(s) with a full copy of these insurance provisions.
14. INSURANCE ENDORSEMENTS MUST BE RECEIVED BY THE DEPARTMENT OF PUBLIC WORKS AT LEAST THIRTY (30) DAYS PRIOR TO THE EVENT OR THIS PERMIT WILL BE CANCELLED. All Insurance Endorsements shall be delivered or sent to: County of Santa Cruz, Department of Public Works, Road Operations, Senior Civil Engineer, 701 Ocean Street, Room 410, Santa Cruz, CA 95060.
15. All local emergency services and the Metropolitan Transit District are to be notified by the PERMITTEE of the event and the road closure.
16. The PERMITTEE shall notify all affected residents and businesses of the event and road closure.
17. The PERMITTEE shall place a notice in a newspaper of general circulation for a period of two weeks prior to September 14, 2013, stating the time, date, and names of roads affected by the event.
18. If all permit conditions are not compiled with, the event MAY BE CANCELLED by the Sheriff or the California Highway Patrol. If unanticipated traffic problems should occur, the road closure may be cancelled.
19. A critique shall be held on October 10, 2013, at 2:00 p.m. at the Department of Public Works office with the PERMITTEE representatives. The PERMITTEE shall arrange for representatives from the California Highway Patrol and the Santa Cruz County Sheriff's Office to attend, as well as other interested parties, to discuss recommendations or required changes as determined.
20. The PERMITTEE will furnish the Santa Cruz County Department of Public Works with the name and phone number of the contact person that will be accessible during event hours.
21. The PERMITTEE shall sign a permit containing the above conditions and shall return the signed permit to the Department of Public Works.

NOTIFICATION

1. Notification shall be made in a newspaper of general circulation via press release or paid advertisement giving the time, date, and names of all roads affected by the event no later than five (5) days prior to the event and no sooner than twenty (20) days prior to the event.
2. The PERMITTEE shall notify each resident of the streets subject to closure, in writing, of the time, date, and duration of the closure at least ten (10) days prior to the event.
3. At least thirty (30) days before the event, PERMITTEE shall in writing notify local emergency services including fire, the Santa Cruz County Sheriff's Office, the California Highway Patrol, and the Metropolitan Transit District of the road closure.

Please sign below, and return the original of this letter to our office.

Yours truly,

JOHN J. PRESLEIGH
Director of Public Works

JSD:sh

The terms and conditions of this permit are understood, and PERMITTEE will comply with all conditions.

DATE: _____ PERMITTEE

By: _____

Title

Mary Chavez

From: Todd Ellis <toddellis@yahoo.com>
Sent: Tuesday, September 03, 2013 1:58 PM
To: Mary Chavez
Subject: Recycling and equipment delivery

6 porta potties, 4 wash stations being delivered friday afternoon, picked up on Sunday.
10 garbage cans, 10 recycle cans and 3 yard dumpsters of each being delivered Friday afternoon, picked up on Monday.
Hay bales being delivered Friday evening, picked up Sunday.
All other event supplies, tables and chairs will be moved in and out on Saturday.

Thank You,
Todd Ellis
President
Ben Lomond Firefighters Association

ATTACHMENT 15

State of California
ABC-281
10.99

Department of Alcoholic Beverage Control

License Type: 34 One Day Beer & Wine
License Nontransferable

LICENSE NO. 9388466
Receipt No. 2189048
Fee Paid \$50.00
Geographical Code 4400

APPLICATION:

Pursuant to the authority granted by the organization named below, the undersigned hereby applies for the above designated license(s) for the location also described below.

ORGANIZATION: BEN LOMOND FIRE DEPT
LOCATION ADDRESS: 9525 MILL ST
BEN LOMOND, CA 95005

TYPE OF EVENT: FESTIVAL
HR/DATES DURING WHICH ALCOHOL WILL BE SOLD: 11AM - 9PM, September 14, 2013
ESTIMATED ATTENDANCE: 400

This license is conditioned (see attached).

AUTHORIZED REPRESENTATIVE / ADDRESS

TODD ELLIS
8445 GLEN ARBER RD
BEN LOMOND, CA 95005
(931) 588-2001

LICENSE:

The above-named organization is hereby licensed, pursuant to Section 24045.1 of the Business and Professions Code and Rule 59.5 of the California Code of Regulations, to engage in the temporary sale of alcoholic beverages for consumption at the above-named location for the period authorized below. This license does not include off-sale ("to-go") privileges. This license may be revoked summarily by the Department if, in the opinion of the Department and/or the local law enforcement agency, it is necessary to protect the safety, welfare, health, peace, and morals of the people of the State.



Good for 1 day(s). Date Issued September 4, 2013.

Director of Alcoholic Beverage Control

By *T. Hayes per S. Hagate*



Santa Cruz County Parks
979 17th Avenue
Santa Cruz CA, 95062
Ph: (831) 454-7901 – Fax (831) 454-7940
www.scparks.com

Memo

To: North County Maintenance

Fax: (831)336-9562

From: Mary, Facilities

**RE: Ben Lomond Firefighter's Association Celebration- Day in the Park
Saturday, September 14, 2013 at Ben Lomond Dam Park**

Ben Lomond Firefighters Association will be holding the Day in the Park community celebration at Ben Lomond Dam Park on Saturday, September 14, 2013 from 11:00 am to 10:00 pm. The permit allows for use of the park grounds and they also have a road closure permit for Mill Street for the same hours, beginning at Mill Street and Main Street intersection and ending 300 feet west of Main Street.

Set-up in the park will take place on Friday, the 13th, from 3:00 pm to 5:00 pm as well as Saturday morning, 8:00 am – 11:00am. The stage will be built Wed / Thurs and taken down Sun/ Mon, like last year. It is roped off during and after construction. Most deliveries will be brought in Friday (see delivery information below). The remaining event set-up will take place Saturday between 8:00 am – 11:00 am and include deliveries of other event supplies, i.e. tables and chairs. Only easy ups and tables will be set up on Mill Street and taken down by dark. The event itself will take place from 11:00 am – 10:00 pm with sound and alcohol allowed for that full time frame (see contract paperwork). Clean-up will be completed by 11:00 pm on Saturday evening. This event will not be staffed, but they will have the county dispatch line. Please have Maintenance staff (Tina?) check-in with the event coordinator, Todd Ellis, on the day of the event. Should there be a need for Facilities staff assistance, Todd has been given the Facilities special event phone, (831)535-3153, held by Dianne who is working at Highlands that day and can potentially run to the park, if needed.

Please find the attached delivery schedule. 6 porta potties and 4 wash stations will be delivered Friday afternoon and picked up Sunday. I have reminded them to lock them overnight. Hay bales will be delivered Friday and picked up Sunday. Green Waste will deliver 10 garbage cans, 10 recycle cans and 3 yard dumpsters on Friday afternoon and picked up on Monday. The stage set-up and breakdown has already been noted.

The map of the event set-up shows the location of activities for this family-friendly event and the impact letter and event flyer notate activities such as live music, BBQ, a bounce house, dunk tank and carnival games, and alcohol sales (see attachments).

Charlie has been working with Todd directly and may be aware of some Maintenance needs that I may not know about, i.e. electricity access, water access and location for a dunk tank, additional liners, etc.

Please let me know if you have any questions. Thanks for your hard work.

ATTACHMENT 15



Your plans have been sent to several agencies for review. The comments that were received are printed below. Please read each comment, noting who the reviewer is and which of the three categories (Completeness, Policy Considerations/Compliance, and Permit Conditions/Additional Information) the comment is in.

Completeness: A comment in this section indicates that your application is lacking certain information that is necessary for your plans to be reviewed and your project to proceed.

Policy Considerations/Compliance: Comments in this section indicate that there are conflicts or possible conflicts between your project and the County General Plan, County Code, and/or Design Criteria. We recommend that you address these issues with the project planner and the reviewer before investing in revising your plans in any particular direction.

Permit Conditions/Additional Information: These comments are for your information. No action is required at this time. You may contact the project planner or the reviewer for clarification if needed.

Accessibility Review

Routing No: 1 Review Date: 08/19/2011

LAURA BRINSON (LBRINSON) : Complete

Completeness

- Application is complete for this development permit stage

Compliance

- With minor alterations and detailing for accessibility, the application complies with accessibility requirements in the current 2010 CBC.

Building Permit Application Conditions

- Building permit application to include the following:

- Detectable warnings where path of travel adjoins a parking lot, driveway, or other vehicular way. (CBC 1133B.8.5)
- All paths of travel shall be shown to be accessible. Maximum slope in the direction of travel to be 5 percent, unless constructed as a ramp. Maximum cross-slopes to be 2 percent maximum. (CBC 1133B.7)
- Paths of travel to be firm, stable and slip resistant. No abrupt changes in level are permitted. Decomposed granite alone will not be stable over time. A binder to stabilize the material will be required. (CBC 1124B)
- Outdoor picnic areas, bocce court, interpretive signage, and nature trails to be accessible. (CBC 1132B)



Accessibility Review

Routing No: 1 Review Date: 08/19/2011

LAURA BRINSON (LBRINSON) : Complete

- Accessible parking space to have slopes, signage and striping in compliance with CBC 1129B.

If you have any questions regarding these comments, please contact Laura Brinson at 831-454-3151 or email laura.brinson@co.santa-cruz.ca.us.

District Supervisor Review

Routing No: 1 Review Date: 09/01/2011

SHEILA MCDANIEL (SMCDANIEL) : No Response

Drainage Review

Routing No: 2 Review Date: 09/24/2012

TRAVIS RIEBER (TRIEBER) : Complete

2nd Review Comments

Completeness Comments: Application Complete? Yes No

The plans dated 5/4/2012 have been received and are approved for the planning application stage. Please see the permit conditions below for additional information to be provided at the building application stage.

Permit Conditions and Additional Information:

1. Provide a condition assessment of the existing culvert and outfall to Soquel Creek. Indicate any problems and propose any needed repairs or improvements.
2. Provide construction details for the proposed silt and grease trap, vegetated swales and rock percolation pond to facilitate proper construction by the contractor.
3. Site plans shall specify maintenance requirements such as; what needs to be maintained, how often each drainage improvement needs to be maintained, what to look for indicating maintenance is required, and what the maintenance procedures are for each specific drainage improvement. A recorded maintenance agreement is required for the proposed silt and grease trap, bio-swales and rock pond percolation system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:
http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25.pdf

ATTACHMENT 16



Driveway/Encroachment Review

Routing No: 2 Review Date: 09/13/2012

DEBRA LOCATELLI (DLOCATELLI) : Complete

Review completed by D. Locatelli, it appears that Dave Garibotti's comments were addressed. If further clarification is needed, Dave will contact applicant directly.

Environmental Planning

Routing No: 2 Review Date: 09/20/2012

ANTONELLA GENTILE (AGENTILE) : Complete

Compliance Comments

1. As observed during a site visit on September 17, 2012, a large portion of the site has been recently denuded. Per the conditions of approval of Riparian Exceptions 08-0464 for the elm removal and 111000 for the site demolition and other tree removals, all disturbed soils shall be stabilized to prevent siltation in the watercourse. In addition, with the start of the winter erosion control season on October 15, it is of great importance to reestablish the groundcover on the site prior to the start of rain. Prior to the approval of this project, the site shall be reseeded with a noninvasive grass or other groundcover species and covered with 2-3 inches of sterile straw.

2. Please note that the submitted Riparian Restoration Plan cannot be accepted at this time. Specifically:

A. As stated in the October 4, 2011 biotic report review letter from Ecosystems West, Inc., the 37 elms that were removed under permit "provided bank stabilization during high flows, stream shading and detrital input for anadromous fish and aquatic organisms and nesting cover for breeding birds and upper canopy stratification to the vegetation structure." Continuous canopy coverage shall be achieved as a success criterion; therefore additional trees are needed along the top of bank. Conditions will be added to insure compliance with this requirement.

B. The restoration plan does not meet the minimum requirements. Please refer to the Santa Cruz County "Guidelines for the Preparation of Revegetation/ Restoration Plans."

3. This project will take place within the floodway of Soquel Creek. Effects of the project have been analyzed and summarized in a memo from John Presleigh, Director of Public Works, dated July 15, 2011. The project is not anticipated to cause a rise in the Base Flood Elevation of Soquel Creek, nor adversely affect flow conditions.

4. As stated in the October 9, 2011 biotic report review letter from Matthew Johnston, "future development of the site should include mitigations for the species listed in the report, as well as for the WPT and the FYLG. Development within the riparian buffer and corridor shall be limited to those activities described in General Plan section 5.2.7; non-motorized recreation and pedestrian trails, parks, and interpretive facilities. Development must be done subject to an approved Riparian Exception." Conditions will be added to insure compliance with these requirements.

ATTACHMENT 16

Print Date: 11/14/2012

Page: 3



Environmental Planning

Routing No: 2 Review Date: 09/20/2012

ANTONELLA GENTILE (AGENTILE) : Complete

Conditions of Approval

1. A grading permit is required for this project and shall be obtained prior to any disturbance of the site.
2. Prior to approval of the grading permit, a revised riparian restoration plan shall be submitted to the Planning Department. The plan shall be revised to:
 - A. Incorporate additional shade trees at the top of the bank of Soquel Creek;
 - B. Meet the minimum requirements of the Santa Cruz County "Guidelines for the Preparation of Revegetation/Restoration Plans;" and
 - C. Include additional trees to provide a continuous shade canopy for the bank as a success criterion.
3. Prior to approval of the grading permit, a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual shall be submitted to the Planning Department. The Manual may be found at: http://www.dpw.co.santa-cruz.ca.us/Storm_Water/pdf/2011-11Construction-Site-BMP-Manual.pdf. The erosion control plan submitted for the development permit may be modified to meet these requirements.
4. Approximately 2 days prior to ground disturbance, a preconstruction meeting with the Resource Planner shall be held at the project site. Any required surveys will be collected and required items on the stormwater pollution control plan will be inspected.
5. Approximately one week prior to site disturbance on parcel 030-153-10, a qualified biologist shall conduct a survey to determine if protected species are present in the project area. The results of the survey and any associated recommendations from the biologist shall be provided to Environmental Planning staff prior to the preconstruction meeting.
6. Tree protection fencing shall be installed during all construction activities either at the dripline of trees to remain or as recommended by the project arborist.
7. All tree removal and trimming of roots and/or branches shall occur according to the recommendations and under the observation of the project arborist.
8. All tree removal and trimming shall occur between November 1 and February 1. If tree removal or trimming is necessary between February 1 and November 1, a survey (and recommendations, if

ATTACHMENT 16

Print Date: 11/14/2012

Page: 4



Environmental Planning

Routing No: 2 Review Date: 09/20/2012

ANTONELLA GENTILE (AGENTILE) : Complete

necessary) for birds and bats shall be required to be prepared by a professional biologist prior to tree removal or trimming.

9. Grading operations are limited to the period between April 15 and October 15.

10. Erosion control measures must be in place at all times during construction. All disturbed soils shall be stabilized, as identified in the site plans to prevent siltation in the watercourse.

Fire Review

Routing No: 1 Review Date: 08/17/2011

KAREN MILLER (KMILLER) : Complete

Date: August 12, 2011

To: County of Santa Cruz

Applicant: same

From: Tom Wiley

Subject: 111131

Address 4740 Soquel Dr.

APN: 03015324

OCC: 1537

Permit: 20110160

We have reviewed plans for the above subject project.

The following NOTES must be added to notes on velums by the designer/architect in order to sa District requirements when submitting for **Application for Building Permit**:

SHOW on the plans DETAILS of compliance with the District Access Requirements outlined on the enclosed handout. The roadway(s) are required to be designated as fire lanes, and painted with a red curb with FIRE LANE NO PARKING in contrasting color every 30 feet on the top of the red curb. If the roadway is 27' or less, both sides of the street/roadway shall be painted, 35' and down to 28' in width, the roadway curbs shall be painted on one side, and 36' and wider no red curb is required. All cul-de-sacs shall be fire lane, red curbed. The job copies of the building and fire systems plans and permits must be on-site during inspections.

Submit a check in the amount of \$115.00 for this particular plan check, made payable to Central Fire Protection District. A \$35.00 **Late Fee** may be added to your plan check fees if payment is not received within 30 days of the date of this Discretionary Letter. INVOICE MAILED TO APPLICANT. Please contact the Fire Prevention Secretary at (831) 479-6843 for total fees due for your project.

If you should have any questions regarding the plan check comments, please call me at (831) 479-6843 and leave a message, or email me at tomw@centralfpd.com. All other questions may be directed to Fire Prevention at (831)479-6843.

CC: File & County

ATTACHMENT 16



Fire Review

Routing No: 1 Review Date: 08/17/2011

KAREN MILLER (KMILLER) : Complete

As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source. Further, the submitter, designer, and installer agrees to hold harmless from any and all alleged claims to have arisen from any compliance deficiencies, without prejudice, the reviewer and the Central FPD of Santa Cruz County.

1537-081211

Other Review - ALUS

Routing No: 1 Review Date: 08/30/2012

SHEILA MCDANIEL (SMCDANIEL) : Not Required

Parks Review

Routing No: 1 Review Date: 09/01/2011

SHEILA MCDANIEL (SMCDANIEL) : No Response

Project Review

Routing No: 2 Review Date:

() :

Road Engineering Review

Routing No: 2 Review Date: 09/11/2012

RODOLFO RIVAS (RRIVAS) : Complete



JOHN J. PRESLEIGH
DIRECTOR OF PUBLIC WORKS

County of Santa Cruz

DEPARTMENT OF PUBLIC WORKS PARKS, OPEN SPACE, AND CULTURAL SERVICES DIVISION

979 17TH AVENUE, SANTA CRUZ, CA 95062

(831) 454-7901 FAX: (831) 454-7940 TDD: (831) 454-7978

June 12, 2013

SHEILA MCDANIEL
SANTA CRUZ COUNTY PLANNING DEPARTMENT
701 Ocean Street, Fourth Floor
Santa Cruz, CA 95060

SUBJECT: HEART OF SOQUEL- APPLICATION # 111131 & RIPARIAN EXCEPTIONS
PERMITS 111100 & 101082

Dear Ms. McDaniel:

Thank you for the reminder of the riparian exception condition of Permits 111100 and 101082 that required the Parks division to submit a restoration plan by June of 2012.

Please accept our apology for the delays that have occurred, due to no fault on the part of the Parks Division, as these delays have been created by the closing of the County's Redevelopment Agency and the ensuing financial complications that resulted from the State wide dissolution of the Redevelopment Agencies.

As you will recall, in late July of 2011, the Parks Division submitted Application 111131 which included a re-vegetation plan. This re-vegetation plan and other aspects of this submittal and subsequent submittals have been determined incomplete and required additional studies and work. Preparations of these revisions and submittals has been delayed, through no fault of the Parks Division, due to the funding challenges created by the closure of the County's Redevelopment Agency (RDA) in August of 2011 and the State wide dissolution of Redevelopment Agencies in January of 2012. In response to these financial challenges limited alternative funds were approved by the Board in December of 2012 for this and other former RDA projects.

Since additional funding became available in December of 2012, the Parks Division has been actively pursuing, and providing the information necessary to initiate and complete Environmental Review. For example, recently the Parks Division submitted the requested noise and archaeology reports which are currently being reviewed by the Planning Department. Also, the requested revisions to the Parks Program Statement and the Parking and Traffic Study are currently being prepared.

ATTACHMENT 16

Additional funding to revise the re-vegetation plan is currently not available. However, funding will shortly become available for the preparation of this plan as a part of the construction plans and documents.

In order to not incur additional delays and costs, at this time, we request: (1) the requirement for re-vegetation plan revisions be delayed, (2) the requirement for re-vegetation plan revisions become a part of the pending Development Permit Conditions, (3) the permit condition(s) require the submittal of a revised re-vegetation plan prior to building permit issuance and (4) the permit condition(s) allow the implementation of the re-vegetation plan to occur as a part of the construction of the Heart of Soquel Project.

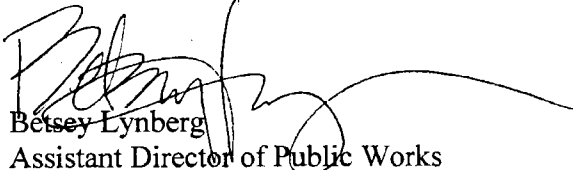
In summary, the project delays have been outside the control of the Parks Division, and we respectfully request that the Planning Department allow the riparian exception condition to be extended and to be conditionally revised and tied to the Development Permit Application 111131, as noted above.

We are hopeful that the above explanations fully address your questions and look forward to continuing to work with you. Please call Sheryl Bailey, the Project Manager, at 831-454-7963, if you have any additional questions or comments.

Yours Truly,

JOHN J. PRESLEIGH
Director of Public Works

By:


Betsy Lynberg
Assistant Director of Public Works

BAL: sb: mh

Parks, Open Space and Cultural Services Division



County of Santa Cruz

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
 (831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
 KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

MITIGATION MONITORING AND REPORTING PROGRAM for the HEART OF SOQUEL MASTER SITE PLAN Application No. N/A, February 4, 2014

No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
Biological Resources					
BIO-1	Produce nighttime lighting that would substantially illuminate wildlife habitats?	In order to ensure that significant impacts do not occur to the riparian corridor, mitigation measures shall require that special event lighting be placed between the riparian corridor and the park, with lights directed away from the riparian corridor. Proposed park pathway lighting shall consist of non-glare lighting with lighting shields directing lighting downward. With this mitigation measure impacts shall be less than will be less than significant.	Santa Cruz County DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project design, construction and during special events.
Visual Resources and Aesthetics					
VIS-1	Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	See Mitigation Measure BIO-1. Impacts would be less than significant with the implementation of mitigation.	County of Santa Cruz DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project design, construction and during special events.
Cultural Resources					
CUL-1	Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA?	Due to the sensitivity of this area, in order to mitigate for the potential impacts to archaeological resources, all grading activity shall be monitored by an archaeologist during project construction. In addition, pursuant to County Code Section 16.40.040, if at any time in the preparation for or process of excavating or otherwise disturbing the ground, any human remains of any age, or any artifact or other evidence of a Native American cultural site which reasonably appears to exceed 100 years of age are discovered, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040. Therefore, impacts are expected to be less than significant.	County of Santa Cruz DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project construction.
CUL-2	Disturb any human remains, including those interred outside of formal cemeteries?	Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the sheriff-coroner and the Planning Director. If the coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established. Therefore,	County of Santa Cruz DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project construction.

No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
Hazardous and Hazardous Materials					
HAZ-1	Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment	In order to reduce potential impacts from the accidental release of hazardous materials into the riparian corridor, the following mitigation would be implemented: A spill prevention and response plan including all appropriate products will be available at the project site during the course of construction activities, and the construction staging area(s) will be a minimum of 50 feet from Soquel Creek.	County of Santa Cruz DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project construction.
HAZ-2	Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	See Mitigation Measure HAZ-1. Impacts would be less than significant with the implementation of mitigation.	County of Santa Cruz DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project construction.
Transportation/Traffic					
TRA-1	Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	Thus, in order that the project not conflict with the adopted County bicycle plan, a mitigation measure for special event parking shall require two percent of the expected crowd in attendance, or 10 bicycle parking spaces based on 500 expected event attendees. This can be accommodated in the proposed parking overflow area noted on the plan. This mitigation measure would reduce this impact to a less than significant level.	Santa Cruz County DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project design and construction.
Noise					
NOI-1	A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	In order to avoid significant construction related noise impacts during construction, the following mitigations are recommended by the noise study: quiet design heavy equipment, good equipment maintenance and lubrication procedures to reduce noise, location of equipment away from sensitive receptors, erection of temporary barriers wherever possible around stationary equipment, and hours of construction operation limited to Monday and Friday between 8 a.m. and 5 p.m. Impacts would be considered less than significant with the implementation of the above mitigation measures.	Santa Cruz County DPW and Contractor	To be monitored by the County DPW and the Contractor.	To be implemented during project construction.